



## STAFF REPORT

Board of Zoning Appeals  
Meeting Date: November 20, 2024

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<b>Case #:</b>	BZA-2024-281	<b>Address:</b>	525 Hillcrest
<b>Appellant:</b>	David & Wendy Stahanczyk, Owner	<b>Zoning:</b>	“R-2” Suburban Residential
<b>Agent:</b>	Evan Jones, Architect		
<b>Request:</b>	<b>Request for Area Variances from Section 5.1.7 to allow for an addition to encroach into the west, front-yard setback (16.4’ proposed/ 20’ required) and to Section 7.12.3.A to allow more square footage onto a nonconforming structure than permitted (20%; 599.2s.f allowed/ 78.6%; 2,198s.f. proposed).</b>		

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### SUMMARY:

The property is part of the Townsend Beach, Blk E Subdivision which was platted in 1925. The existing home is nonconforming because it is 19.4’ from the west, front property line, less to the existing roof overhang. The applicant is proposing to remove an existing sunroom on the rear of the home along with some of the rear family room area and replace that same square footage, which becomes a wash. The applicant is proposing to then construct multiple additions onto the home that results in 2,198s.f. of all new, never previously existing space onto the home.

One of the additions includes a new, 12’ x 25’ 3<sup>rd</sup> garage bay, but then adding a 3’ decorative eyebrow awning over the existing 2-car garage. The decorative eyebrow will result in being 16.4’ from the west, front property line, where a 20’ setback is required. The original structure consists of 2,796s.f. 20% would allow for 599.2s.f. of new space to be added. The applicant is proposing to construct a total of 2,198s.f. of all new space, which results in a 78.6% increase where 20% is permitted.

### ANALYSIS:

Staff provides the following analysis of the decision standards the Board utilizes in their deliberations for deciding whether the request should be approved or denied. The Board is not obligated to agree in whole or in part with any of Staff’s review:

The property in question will yield a reasonable return and can be beneficially used without the variance because the property can continue to be used for a single-family residence and the restrictions are not so restrictive that they prohibit the property owner from making any improvements to the property.

Whether the request is substantial or not can be debated. On the one hand the front setback will be encroached upon more, due to a decorative feature above the garage that isn’t necessarily necessary, and the house is noticeably increasing in size. On the other hand, the house the encroachment into the front-yard setback is due to a decorative feature, not the physical structure, and the additions themselves meet all the setbacks. Also, the reason the house is limited to a 20% addition is because it was set too close to the front property line by 7-inches, according to the Auditor’s records in 1951 (73yrs. ago). Furthermore, this property is made up of 6 lots. Even if the 3 eastern lots were sold off, this structure will meet the rear-yard setback requirement and lot coverage on just the 3 lots it sits on.

The essential character of the neighborhood would not be substantially altered or suffer a substantial detriment as a result of the variances because the addition matches the style of the existing house and a lot of the work to take place will be predominately at the rear of the property.

There is no indication that there would be a detrimental effect on the delivery of government services since utilities are existing and available to the property.

The applicant’s narrative statement says they were not aware of the zoning requirements at the time they purchased the property in 2023.

The property owner’s predicament cannot feasibly be obviated through some method other than a variance because any improvement to the structure would likely result in a variance needed

to exceed the 20% additional limitation because the lot is of such a size, it can accommodate a large expansion, without impacting other zoning requirements.

The spirit and intent of the zoning resolution would be met because there are no known negative impacts to adjoining properties.

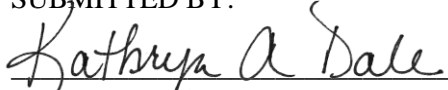
**STAFF RECOMMENDATION:**

None.

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SUBMITTED BY:



Kathryn A. Dale, AICP  
Danbury Township Zoning Inspector

*Date Prepared: October 25, 2024*

**List of Exhibits Enclosed:**

Exhibit 1: BZA Application  
Appellants Narrative Statement  
Adjacent property owners' notification list  
Property Deed

Exhibit 2: Refused Permit  
Site plan  
Addition Plans



Danbury Township, Ohio

5972 E. Port Clinton Rd.  
Marblehead, Ohio 43440  
☎: (419) 734-6120 F: (419) 734-3137  
🌐: [www.danburytownship.com](http://www.danburytownship.com)



# BOARD OF ZONING APPEALS APPLICATION

Date Filed: 10/24/2024 Application #: 2024-281

Action: \_\_\_\_\_

Rejected Permit: 2024-277 Approved Permit: \_\_\_\_\_

1. **Property Location:** 525 Hillcrest

Parcel ID# 014126111683900 Zoning District : "R-2" Suburban Residential

**Attach Deed For Complete Property Legal Description**

Existing Use SF Home Proposed Use Multiple Additions

2. **Agent** Evan Jones, Studio J1S/ Tom Dearth Const. Address 492 City Park Ave./ 518 Erie Beach Road  
 City Columbus/ Marblehead State Ohio Zip 43215 Phone (614)915-6793/(567)267-  
 Email: evan@studioj1s.com / dearthcontracting3@gmail.com/ tomdearth@hotmail.com

3. **Appellant/ Owner** David & Wendy Stahanczyk Address 7179 Fodor Road  
 City New Albany State Ohio Zip 43054 Phone \_\_\_\_\_  
 Email: wendyfromtheclub@gmail.com/ dave.stahanczyk@sgws.com

*Use an additional application if there is more than one owner making the request.*

4. **Specific Request:**

**Area Variance**     **Use Variance**     **Special Exception**     **Conditional Use**     **Appeal**

**Chapter / Section** Request for Area Variances from Section 5.1.7 to allow for an addition to encroach into the west, front-yard setback (16.4' proposed/ 20' required) and to Section 7.12.3.A to allow more cumulative square footage to be added onto a nonconforming structure than permitted [599.2s.f. (20%) allowed/ 2,198s.f. (78.6%) proposed].

**Practical Difficulty** SEE ATTACHED NARRATIVE STATEMENT

*Attach Separate Narrative Statement Describing The Request If Additional Space Is Needed.*

5. Attach a Narrative Statement with a response to each Decision Standard listed in **Attachment "A"** hereto, as is relates to the specific request.

6. Maximum 11" x 17" sized drawings. Attach a scaled site plan/ plot plan showing the dimensions of the property, location of roads, size and location of existing and proposed structures, including but not limited to driveways, patios, sidewalks and decks, as well as the setback distances from the property lines to each of these aforementioned items on





## Applicant's Narrative Statement & Response to Decision Standard's

525 Hillcrest  
Stahanczyk

### Scope of Work:

Construct 6' x 16' covered front porch *with* 6' x 10' pergola, 12' x 25' 3rd garage bay, 5' x 34' rear addition onto back of house & 41' 8" x 43' 4" kitchen, master, screened porch addition.

### Decision Standards:

A. The property in question (**will/will not**) yield a reasonable return or (**can/cannot**) be used beneficially without the variance because:

- a. We will not be able to use the property beneficially without a variance because we need the extra space for our daily lives and responsibilities. Firstly, as we are getting older we have an increased awareness of growing mobility limitations and would like to prepare for the continuation of such realities by having a larger master suite / bed / and bath that is in a private wing and is wheel chair accessible. Secondly, we are moving from our long-time life and home in New Albany and would like a more welcoming, spacious home to stay in contact with family and friends. As the property appraised at purchase at \$280K from the estate, it is significantly lower than many of the homes in Townsend beach, and it features a functionally obsolescent floorplan for today's open style of living.

B.        The variance (**is / is not**) substantial because:

- a.        The variance is not substantial for two reasons. Firstly, the home is quite small to begin with. The variance very specifically limits the increase of a home to the percentage (20%) of the existing home. Because of such, a small house is allowed a smaller addition than a larger house would be allowed. As our house is a smaller house, the addition allowed is also quite a small square footage. Secondly, we have taken great care in the design of our addition to add space without making it feel like we are adding space. We still meet every setback requirement (except for a small garage eyebrow which is merely for aesthetics), and we also meet the building to lot percentage ratio. I.e. If this was new-build, we wouldn't even need to request a variance. Therefore I think it is safe to say that the variance is not a substantial request. The proportion that we are requesting would be proportional to the community homes and not stand out, but rather enhance the community.

C.        The essential character of the neighborhood (**would / would not**) be substantially altered by the variance and adjoining properties (**would / would not**) suffer a substantial detriment as a result of the variance because If there is any effect on adjoining properties, it is a positive one. Both in terms of curb appeal and property valuation. I have lived in this home since I was born, and it gives me great joy to entice my husband to want to move back to the area to retire and to enhancing the neighborhood aesthetics. I am also now on the Townsend Beach HOA so I will have an extra obligation to maintaining the integrity of the neighborhood,

D.        The variance (**would / would not**) adversely affect the delivery of governmental services (i.e. water, sewer, garbage, etc.) because

- a.        Not applicable. Zero affect to gov delivery services.

- E. The property owner (**did / did not**) purchase the property with knowledge of the zoning restriction because
- a. Inherited property at parents passing (i.e. purchased from estate. Was not aware of the 20% increase limit.
- F. The property owner's predicament (**can / cannot**) feasibly be obviated through some method other than a variance because
- a. Based on our needs and desires there is no other solution. We are limited by the size of the existing house, not a property line, not a lot coverage percent. The only solution to our issue is a variance.
- G. The spirit and intent behind the zoning requirement (**would / would not**) be observed and substantial justice done by granting the variance because.
- a. This is a great question and the one worth highlighting the most. The entire reason we create these rules and regulations is to protect our towns and communities. To keep a happy, cute, residential, environment. But it is difficult for a law or rule to account for each and every scenario. That's the very reason that variances exist in the first place. Because of our understanding that although rules and regulations are supposed to improve our community, occasionally they do the very opposite. In my mind a variance is not a request to break the rule or regulation, it is a suggestion that the rule and regulation, in this instance, is a hindrance, rather than an aid, to the improvement of the community. I think our plans speak for themselves that this addition, this variance, would improve the neighborhood and community.
- H. Other relevant factors, if any, considered include - This has been my families home since I was born, with many Peninsula residents having fish hooks dug out of their eyes in our living room when my father was still practicing. The use of our living room may serve a different purpose now, but still we look forward to continued great park like setting of the home and to contributing to the Peninsula upon moving back in a few years. Most importantly to me is making my mom and dad proud by moving back to our family home and having them love and welcome the improvements.

## Kathy Dale

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**From:** Wendy Stahanczyk <wendyfromtheclub@gmail.com>  
**Sent:** Wednesday, October 23, 2024 4:03 PM  
**To:** Kathy Dale  
**Subject:** Listing of surrounding property owners 525 N Hillcrest Dr

Subject property  
525 North Hillcrest Dr.  
Lakeside Marblehead, Ohio

Our neighbors surrounding the subject of property are in Lakeside Marblehead, OH 43440

Michael Heniken and Debra L Hawthorne  
561 N Hillcrest Dr

Carl and Cynthia K Eyman  
9370 Northern Ave

Daniel and Judith A Kiger  
547 n Westwood Dr

Dean and Ellen A Stelzer  
531 Westwood Dr

Thomas and Gail Kowalczk  
507 N Westwood Dr

Amy Monica Page  
504 n Westwood Dr

Todd and Corinna Efkman  
507 N Hillcrest Dr

John (deceased) and Debra Mizla  
512 N Hillcrest Dr.

Scott and Mary Ocke  
548 N Hillcrest Dr.

Wendy Witker Stahanczyk  
Dedicated, Loyal, Discreet  
Cutler Real Estate  
Direct 614-203-3292

On Oct 23, 2024, at 11:50 AM, Kathy Dale <zoning@danburytownship.com> wrote:



202300002047 04/04/2023 02:28 PM  
Filed for Record in OTTAWA County, Ohio  
Nathan J. Daniels Rec Fees: \$34.00  
OR Vol 1941 Pgs 507 - 508

This conveyance has been examined and the grantor compiled with section 319-202 of the revised code.  
FEES \$ \_\_\_\_\_  
EXEMPT   
Jennifer J. Widmer, County Auditor

TRANS. 4-4-2023

*Widmer, Sup.*

# FIDUCIARY DEED

**WENDY STAHANCZYK, Successor Trustee of the HELEN S. WITKER TRUST dated September 28, 1995,**

by the power conferred by said Trust, for good and valuable consideration, receipt of which is hereby acknowledged,

**GRANTS, with FIDUCIARY COVENANTS, To**

**WENDY W. STAHANCZYK and DAVID J. STAHANCZYK, wife and husband, for their joint lives, remainder to the survivor of them,**

tax mailing address: 7179 Fodor Rd., New Albany, OH 43054-9470

The following real estate:

Situated in the Township of DANBURY, County of OTTAWA, and State of OHIO:

Lots Numbered Six (6), Seven (7), Eight (8), Fifteen (15), Sixteen (16) and Seventeen (17) in Section "E" in TOWNSEND BEACH, a subdivision in said Township.

Permanent Parcel No.: 014-12611-16839-000

Property Address: 525 N. Hillcrest Dr.,  
Lakeside-Marblehead, OH 43440

Prior Deed Reference: Deed Book 402, page 407



Said property is subject to all legal highways, taxes, assessments, easements in use and of record, conditions and restrictions of record, zoning and other governmental regulations.

Witness her hand this 4 day of April, 2023.

*Wendy Stahanczyk*  
WENDY STAHANCZYK, Successor Trustee  
THE HELEN S. WITKER TRUST dated  
Sept. 28, 1995

STATE OF OHIO  
COUNTY OF OTTAWA, ss:

On this 4<sup>th</sup> day of April, 2023, before me, a Notary Public in and for said County and State, personally WENDY STAHANCZYK, Successor Trustee of THE HELEN S. WITKER TRUST dated Sept. 28, 1995, and acknowledged that she did sign the foregoing instrument and that it is her free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

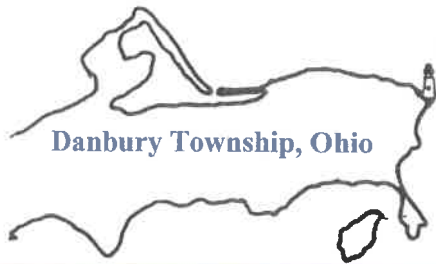
*Linda L. Kroeger*  
Notary Public

Instrument prepared by  
Linda Kroeger-Baum  
Kroeger & Peters Co., LPA  
132 Madison Street  
Port Clinton, OH 43452  
(419) 734-4142



LINDA L. KROEGER  
Attorney At Law  
NOTARY PUBLIC  
STATE OF OHIO  
My Commission Has  
No Expiration Date  
Section 147.03 O.R.C.

KROEGER & PETERS



Kathryn A. Dale, AICP  
Zoning & Planning Administrator

## NOTICE OF REFUSAL

October 23, 2024

**To Applicant/:** David & Wendy Stahanczyk      Application No.: **24-277**  
**Owner**      7179 Fodor Road      **525 Hillcrest**  
New Albany, Ohio 43054

**To Agent:** Eric Jones, Architect      BZA Case No.: \_\_\_\_\_  
492 City Park Avenue  
Columbus, Ohio 43215

Your application dated **OCTOBER 23, 2024**, for a zoning certificate for **MULTIPLE ADDITIONS** located at **525 HILLCREST, MARBLEHEAD, OHIO 43440** is hereby refused on this **23<sup>rd</sup> DAY OF OCTOBER, 2024** under **Article 3, Article 5 and Article 7** of the Danbury Township Zoning Resolution in that;

**Article 3** of the Danbury Township Zoning Resolution and Map designates the location of this property as “**R-2**” Suburban Residential.

### Article 5, Section 5.1.3

#### General Regulations Applicable to All Districts

3. *No building or structure shall be erected, converted, enlarged, or reconstructed or structurally altered except in conformity with the yard and lot area regulations of the district in which the building is located unless otherwise specified herein.*

### Article 3, Section 3.5

#### “R-2” High Density Residential Development Standards

*The minimum setback requirements in the “R-2” zoning district are as follows:*

Information Only –  
Reduced Setbacks  
Available Below →

- Minimum Front-yard Setback      35’*
- Minimum Rear-yard Setback      35’*
- Minimum Side-yard Setback      10’*
- Maximum Lot Coverage            40%*

### Article 5, Section 5.1.7

#### General Regulations Applicable to All Districts

7. *Any lot of record at the time of the adoption of this Resolution may be used for a single-family dwelling. Any lot of record that can comply with the required setback requirements of the district in which it is located shall be required to do so. However, on such lots in all districts where compliance with required district setbacks cannot occur, the following setbacks shall be maintained unless a variance is granted by the Board of Zoning Appeals.*

- Front-Yard Setback:      20’*
- Side-Yard Setbacks:      5’*
- Rear-Yard Setback:      5’*

- The property is part of the Townsend Beach, Blk E Subdivision which was platted in 1925.
- The existing home is nonconforming because it is 19.4’ from the west, front property line, less to the existing roof overhang.

Variance #1

- The applicant is proposing to remove an existing sunroom on the rear of the home along with some of the rear family room area and replace that same square footage, which becomes a wash.
- The applicant is proposing to then construct multiple additions onto the home that results in 2,198s.f. of all new, never previously existing space onto the home.
- One of the additions includes a new, 12' x 25' 3<sup>rd</sup> garage bay, but then adding a 3' decorative eyebrow awning over the existing 2-car garage.
- The decorative eyebrow will result in being 16.4' from the west, front property line, where a 20' setback is required.

**Article 7, Section 7.12.3.A. Nonconforming Uses**

*A. The addition to or enlargement of a nonconforming building or structure shall be permitted provided it contains a permitted use and such addition or enlargement does not exceed twenty (20%) percent of the floor area contained in the original building or structure at the time of the adoption of this Resolution. All other requirements of the District (lot area, yards, etc.) shall be met unless a variance is obtained.*

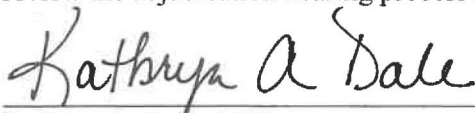
- The existing structure is nonconforming because the house encroaches into the west, front-yard setback is 19.4' (less if an overhang is present) where 20' is required.
- The original structure consists of 2,796s.f.
- 20% would allow for 599.2s.f. of new space to be added.
- The applicant is proposing to construct a total of 2,198s.f. of all new space onto the existing home, which results in a 78.6% increase where 20% is permitted.

Variance #2

**Article 7, Section 7.5.1.A** states; It shall be unlawful for an owner to use or to permit the use of any structure, building or land, or part thereof, hereafter created, erected, converted or enlarged, wholly or partly, until a zoning certificate/permit shall have been issued by the Zoning Inspector. It shall be the duty of the Zoning Inspector to issue a certificate/permit, provided the Zoning Inspector is satisfied that the structure, building or premises, and the proposed use thereof conform with all the requirements of this Resolution. No certificate/permit for excavation, construction or reconstruction shall be issued by the Zoning Inspector unless the plans, specifications and the intended use conform to the provisions of this Resolution.

**Article 7:** An appeal from this decision to the Danbury Township Board of Zoning Appeals is governed under Section 7.9.2 of the Danbury Township Zoning Resolution. A request for an **Area Variance** is necessary prior to proceeding with the proposed construction.

Please contact the Zoning Department at (419) 734-6120 to obtain the appropriate application and to review the adjudication hearing process if you wish to proceed with the appeal.



Kathryn A. Dale, AICP  
Danbury Township Zoning & Planning Administrator

*Note: The applicant has **20 days** (per Section 7.8.2.A.i.) to submit revisions or to appeal this decision to the Board of Zoning Appeals. A new application will be required, including payment of a new fee, if the applicant fails to submit adequate revisions within this time period. Revisions that address these deficiencies may result in further comments relative to these or other Zoning Code provisions. This review is only for compliance with the zoning regulations. The Ottawa County building departments may also have comments that will need to be addressed before releasing permits.*



Danbury Township, Ohio

5972 E. Port Clinton Rd.  
Marblehead, Ohio 43440  
☎: (419) 734-6120 F: (419) 734-3137  
🌐: [www.danburytownship.com](http://www.danburytownship.com)

### ZONING PERMIT APPLICATION

Date Filed: 10/23/24 Application #: 2024-277

Refusal  
Approval Date: 10/23/24 BZA Case #: \_\_\_\_\_

1. **Property Location:** 525 Hillcrest - 0141261116839000

Subdivision Townsend Beach, Blk E Lot # 6-8 Zoning District "R-2" Suburban Residential

Existing Use SF Home Proposed Use Multiple Additions

2. **Applicant** Evan Jones - Studio J1S Address 492 City Park Ave.

City Columbus State OH Zip 43215 Phone (614) 915-6793

Email: evan@studioj1s.com

3. **Owner** David & Wendy Stahanczyk Address 7179 Fodor Road

City New Albany State Ohio Zip 43054 Phone \_\_\_\_\_

Email: wendyfromtheclub@gmail.com/ dave.stahanczyk@sgws.com

4. **Contractor/ Architect** Tom Dearth Construction Address 518 N. Erie Beach Road

City Marblehead State Ohio Zip 43440 Phone (567) 267-0253

Email: todearthcontracting3@gmail.com

5. **Site Plan:** Attach site plan for subject property. See Instructions & Sample.

6. **Type of Improvement**

<u>Residential Use</u>	<u>Non-Residential Use</u>
<input type="checkbox"/> New Single Family ( ___ w/Deck)	<input type="checkbox"/> New Building(s)
<input type="checkbox"/> New Two-Family	Dimensions of each Bldg. _____
<input type="checkbox"/> New Multi-Family, No. of Units _____	_____
<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Addition
<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Decks or Patios	<input type="checkbox"/> Temporary Uses - Dates From: _____ To: _____
<input type="checkbox"/> Swimming Pools (above or inground)	<input type="checkbox"/> Signs – Permanent _____ Temporary _____
<input type="checkbox"/> Walls or Fences	<input type="checkbox"/> Walls or Fences
<input type="checkbox"/> Temporary Uses - Dates From: _____ To: _____	<input type="checkbox"/> Remodel/ Tenant Finish
<input type="checkbox"/> Signs – Permanent _____ Temporary _____	<input type="checkbox"/> Docks, Finger, Main or Walkway - _____ sf.
<input type="checkbox"/> Docks - _____ sf.	<input type="checkbox"/> Other (specify) _____
<input type="checkbox"/> Other (specify) _____	



7. **Project Description:** Construct 6' x 16' covered front porch w/ 6' x 10' pergola, 12' x 25' 3rd garage bay, 5' x 34' rear addition onto back of house & 41'8" x 43'4" kitchen, master, screened porch addition.

8. Are the property line pins located or have you had a recent survey of the lot? Yes. (yes/no)

9. If application is for a non-residential use, list total square footage of building per floor. If application is for a residential use list total area of living space per floor as well as total area of all applicable attachments to the structure. Attach sketch of lot, showing existing buildings and proposed construction or use for which application is made. Give dimensions, indicate north and provide the following information:

	<u>Existing</u>	<u>Proposed</u>		<u>Existing</u>	<u>Proposed</u>	
1,788	Basement:	_____ sf.	_____ sf.	Front Yard Setback:	19.4' ft.	16.9' ft.
+ 784	First floor:	1,788 sf.	2,422 sf.	Side Yard Setback:		
+ 224	Second floor:	_____ sf.	_____ sf.	N side:	19.6' ft.	Same ft.
2,796s.f.	Third floor:	_____ sf.	_____ sf.	S side:	8.33' ft.	Same ft.
x 20%	Garage/carport:	784 sf.	_____ sf.	Rear Yard Setback:	43.6' ft.	6' ft.
599.2s.f.	Decks/porches:	224 TBR sf.	_____ sf.	<i>(Setbacks are from the property lines, not the edge of the road pavement)</i>		
allowed	Breezeway:	_____ sf.	_____ sf.	<b>Lot Coverage:</b>		
2,198s.f.	Accessory:	_____ sf.	_____ sf.	A. Principal Building Footprint:	4,994 sf.	
proposed	Parking:	_____ sf.	_____ sf.	B. Total of Accessory buildings:	0 sf.	
(78.6%)	Other:	_____ sf.	_____ sf.	C. Lot Width x Lot Depth = Lot Area:	25,650 sf.	12,825
** Variance	Highest point of building above the established grade:	_____ ft.	18' ft.	[ (A + B) ÷ C ] x 100 =	19.4% %	38.9%
Needed						

**NOTE: Private deed restrictions may need to be met in some areas of the township.**

Application is hereby made for a zoning certificate. It is understood and agreed by the applicant that any error, misstatement or misrepresentation of fact or expression of fact in the application, either with or without intention on the part of the applicant, such as might, or would, operate to cause the issuance of a permit in accordance with this application, shall constitute sufficient ground for the revocation of the permit at any time. The owner of this building or premises and the undersigned, do hereby agree to comply with all the laws of the State of Ohio and the Zoning Resolution of Danbury Township, and to construct the proposed building or structure or make the proposed change or alteration in accordance with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specification are to the best of their knowledge, true and correct.

[Signature]  
(Applicant's Signature)

10/23/2024  
(Date)

Do not write below this line

**ZONING CERTIFICATE**

Upon the basis of Application No. 24-277, the statements in which are made a part hereof, the proposed usage (is or isn't) isn't found to be in accordance with the Danbury Twp. Zoning Resolution and is hereby (approved or rejected) rejected for the R-2 Zoning District.

[Signature]  
Danbury Township Zoning Inspector  
5972 E. Port Clinton Road, Marblehead, Ohio 43440

Date Application Received 10/23, 2024 Fee Paid \$ \$NO FEE Cash/ Check # —  
Date Application Ruled On 10/23, 2024 If certificate refused, reason for refusal : See Attached Letter

Permit valid for a period of one (1) year from date of issue.

meter of this structure,  
gypsum board to wall  
6" o.c. (max.),  
7" o.c. (max.), or  
sufficiently long

l with corrosion  
horizontally and shall  
air space of a  
asonry above finished  
other points of

masonry walls at a  
ln. of 3/16" in

d shall be one  
side of all openings  
is equal to or greater

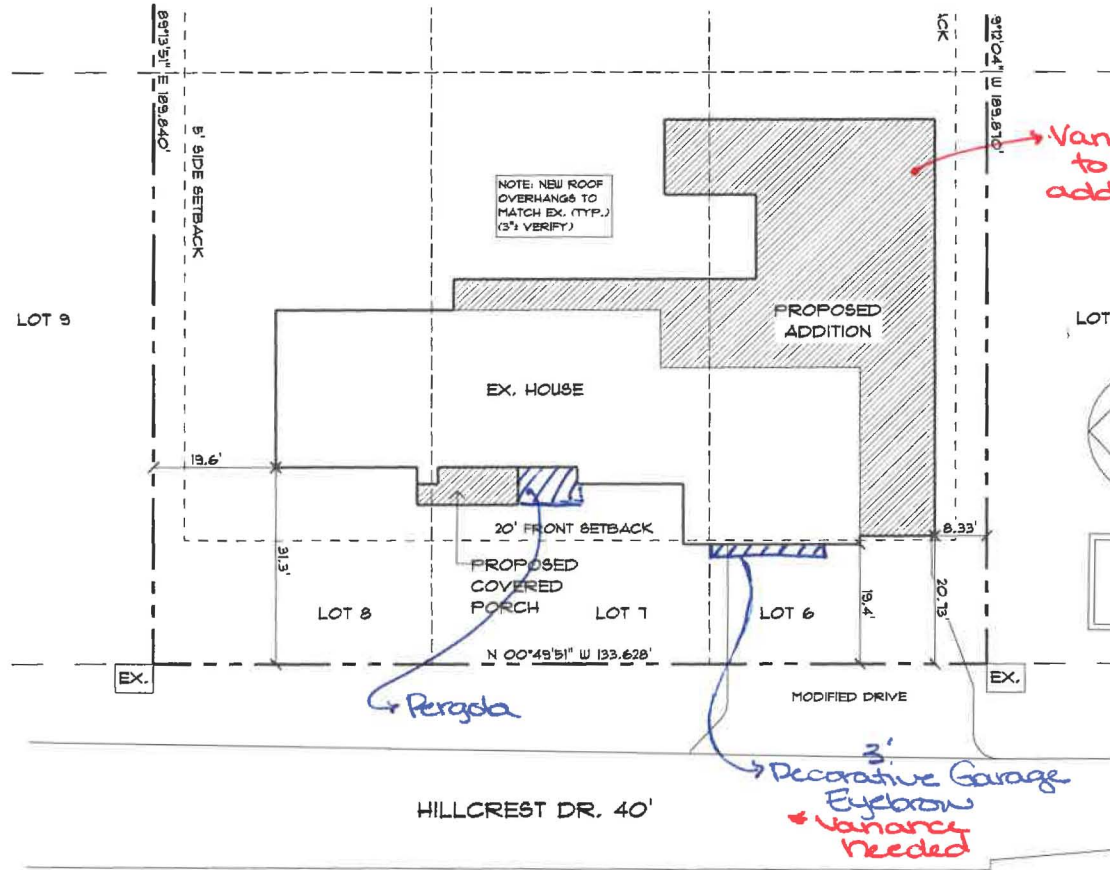
n accordance with  
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ates Gypsum Company.

truss data and  
ation.

nucleus tie between  
here not parallel,  
he plate as practical,  
enter. Refers shall be  
plate as a tie.

not less in depth than  
i shall be a valley or  
e in depth than the cut  
orted at the ridge by  
> carry and distribute  
he refert exceeds 11-1/4"  
with an additional  
2.

d at load bearing



NOTE: NEW ROOF  
OVERHANGS TO  
MATCH EX. (TYP.)  
(3' VERIFY)

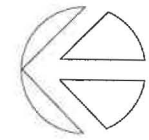
PROPOSED  
ADDITION

EX. HOUSE

PROPOSED  
COVERED  
PORCH

HILLCREST DR. 40'

→ Variance Needed  
to Exceed 20%  
addition limitation



### SITE STUDY

SCALE: ~ 1" = 20'-0"

525 HILLCREST DR.  
LAKESIDE MARBLE, OH 43440

NOTE:  
GRADE SHALL FALL 6" (MIN.) WITHIN  
FIRST 10' FROM BUILDING PERIMETER.

→ Decorative Garage  
Eyebrow  
→ Variance  
needed

STAHANCZYK RESID  
BY

GENERAL NOTES

- These plans have been designed in accordance with the 2015 International Code of Building Officials (ICBO) International Building Code (IBC) and International Residential Code (IRC) and all other applicable codes and regulations, and shall be construed as part of the contract documents for this building and all other structures on the site.
1. All HVAC work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
2. All electrical work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
3. All plumbing work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
4. All mechanical work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
5. All structural work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
6. All exterior finish work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
7. All interior finish work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
8. All site work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
9. All utility work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
10. All other work shall be installed in accordance with the applicable code and all other applicable codes and regulations.

PLANNING

- 1. All exterior and interior finishes shall be installed in accordance with the applicable code and all other applicable codes and regulations.
2. All site work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
3. All utility work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
4. All other work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
5. All structural work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
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10. All exterior finish work shall be installed in accordance with the applicable code and all other applicable codes and regulations.

FOUNDATIONS & CONCRETE

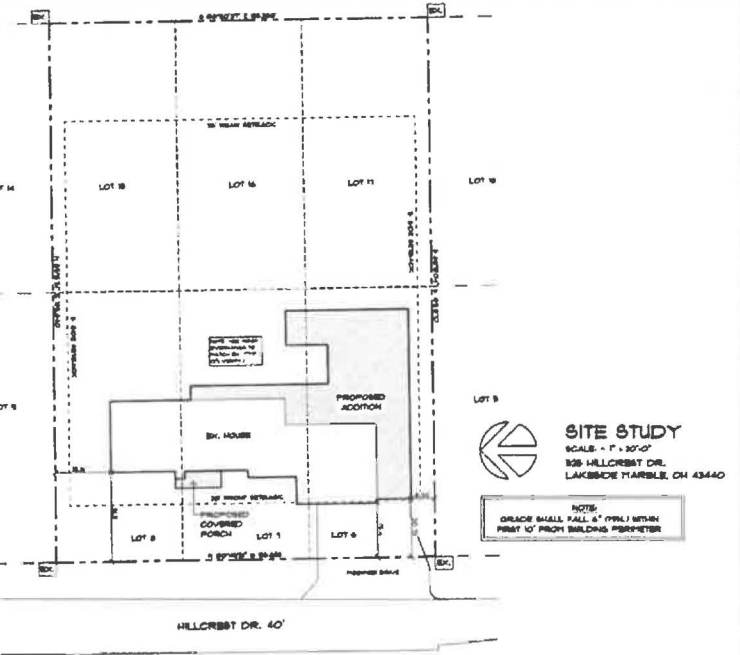
- 1. All exterior and interior finishes shall be installed in accordance with the applicable code and all other applicable codes and regulations.
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10. All exterior finish work shall be installed in accordance with the applicable code and all other applicable codes and regulations.

WALL CONSTRUCTION

- 1. All exterior and interior finishes shall be installed in accordance with the applicable code and all other applicable codes and regulations.
2. All site work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
3. All utility work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
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5. All structural work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
6. All mechanical work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
7. All electrical work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
8. All plumbing work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
9. All HVAC work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
10. All exterior finish work shall be installed in accordance with the applicable code and all other applicable codes and regulations.

ROOF CONSTRUCTION

- 1. All exterior and interior finishes shall be installed in accordance with the applicable code and all other applicable codes and regulations.
2. All site work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
3. All utility work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
4. All other work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
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8. All plumbing work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
9. All HVAC work shall be installed in accordance with the applicable code and all other applicable codes and regulations.
10. All exterior finish work shall be installed in accordance with the applicable code and all other applicable codes and regulations.



DESIGN CRITERIA

Table with columns for Design Criteria, Units, and Values. Includes items like 'Basic wind speed', 'Basic design category', and 'Minimum required floor joist size'.

SQUARE FOOTAGE TABLE - ADDITION ONLY

Table with columns for Floor Level, Square Footage, and Total. Includes rows for 'First Floor', 'Garage', and 'Total Under Roof Area'.

ENERGY CODE 2024

See Section 050500 - MECHANICAL SYSTEMS for details regarding ENERGY CODE 2024 requirements.

Table with columns for Building Thermal Envelope, R-Value, and U-Value. Includes rows for 'Exterior Walls', 'Ceiling', 'Floor', and 'Roof'.

INDEX TO DRAWINGS table listing drawing titles and sheet numbers. Includes sections for 'GENERAL NOTES', 'FOUNDATION & CONCRETE', 'WALL CONSTRUCTION', 'ROOF CONSTRUCTION', 'HEATING & COOLING', 'FLOOR CONSTRUCTION', and 'MECHANICAL SYSTEMS'.

**NOTE TO CONTRACTOR AND BELOW SUB-CONTRACTORS:**  
 It is VERY IMPORTANT TO COMPLY EXACTLY WITH ALL STRUCTURAL REQUIREMENTS SUCH AS ROOF PITCHES, OVERLAPS, BRACING, ETC. FAILURE TO DO SO WILL BE AT THE CONTRACTOR'S RISK. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND ANY OTHER REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

- NOTE:**
1. ALL HALF TONE DAMAGED WALLS TO BE REMOVED WITH CARE TO LEAVE SURFACE FOR NEW WALLS AND/OR DOORS / WINDOWS.
  2. VERIFY ALL WALLS WITH PROPOSED FINISH PLUMB. ADDITIONAL TRIM MAY NOT BE NEEDED ON PLUMB. TRIM TO BE INSTALLED TO MATCH EXISTING TRIM AND EQUIPMENT FOR NEW TRIM LOCATIONS.
  3. REMOVE TO EXPOSE ALL NEW AND EXISTING ROOF JOISTS RELATIVE TO FINISH FLOOR.
  4. VERIFY EXISTING STRUCTURE IS ADEQUATE AND AS NEEDED DAMAGED, VARIATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER AS SOON AS THEY ARE IDENTIFIED.

**DESCRIPTION OF WORK:**  
 UNCOVER WORK TO PROVIDE FOR INSTALLATION OF NEW WORK OR REPAIR ON BOTH. REMOVE EXISTING WALLS, FLOORS, CEILING, ETC. AS NEEDED TO ACCOMMODATE INSTALLATION OF THE NEW WORK.

**QUALITY ASSURANCE:**  
 FURNISH ALL DEMOLITION WORK IN ACCORDANCE WITH ALL CODES AND SPECIFICATIONS. USE APPROPRIATE METHODS OF WALLS REMOVED AND ARE TECHNICALLY TRAINED AND SUPERVISED BY THE NECESSARY OFFICIALS AND ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHOD NEEDED FOR PROPER PERFORMANCE OF WORK.

**NOTICES TO RESIDENTIAL DESIGNER:**  
 ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS IN THE NOTES, CONDITIONS AND/OR DRAWINGS CONTAINED ON THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEDURAL AND CONSTRUCTION CONTRACTS ARE THE ACCEPTANCE OF THESE DOCUMENTS AND ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS SUBJECT TO THE RESPONSIBILITY OF THE RESIDENTIAL DESIGNER.

**REMAIN AND SAVING MATERIAL:**  
 PRIOR TO DEMOLITION CONTRACTOR AND OWNER SHALL REVIEW THE PROJECT AND CREATE A LIST OF ALL MATERIALS AND LANDSCAPES THAT ARE TO BE SAVED, OR IMPROVED AND SAVED FOR USE IN OTHER AREAS, REMOVED AND SAVED FOR REINSTALLATION BY THE CONTRACTOR, AND/OR REMOVED AND SAVED FOR ALL OTHER PURPOSES NOT TO LISTED SHALL BE REMOVED FROM THE SITE IN AN APPROPRIATE AND SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

ANY ITEM ON THE "SAVE LIST" INDIVIDUALLY REMOVED AND NOT SAVED OR OTHERWISE DAMAGED OR LOST BY CONTRACTOR SHALL BE REPLACED, REINSTALLED OR REPAIRED AT NO ADDITIONAL COST TO OWNER.

**MATERIALS:**  
 FOR REPLACEMENT WORK AND ALL NEW WORK, USE MATERIALS WHICH MATCH EXISTING MATERIALS OR ALTERNATE MATERIALS WITH THE APPROVAL OF THE OWNER. ALL OTHER MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF THE WORK OF THE SECTION, SHALL BE SELECTED BY THE CONTRACTOR SUBJECT TO APPROVAL BY THE OWNER.

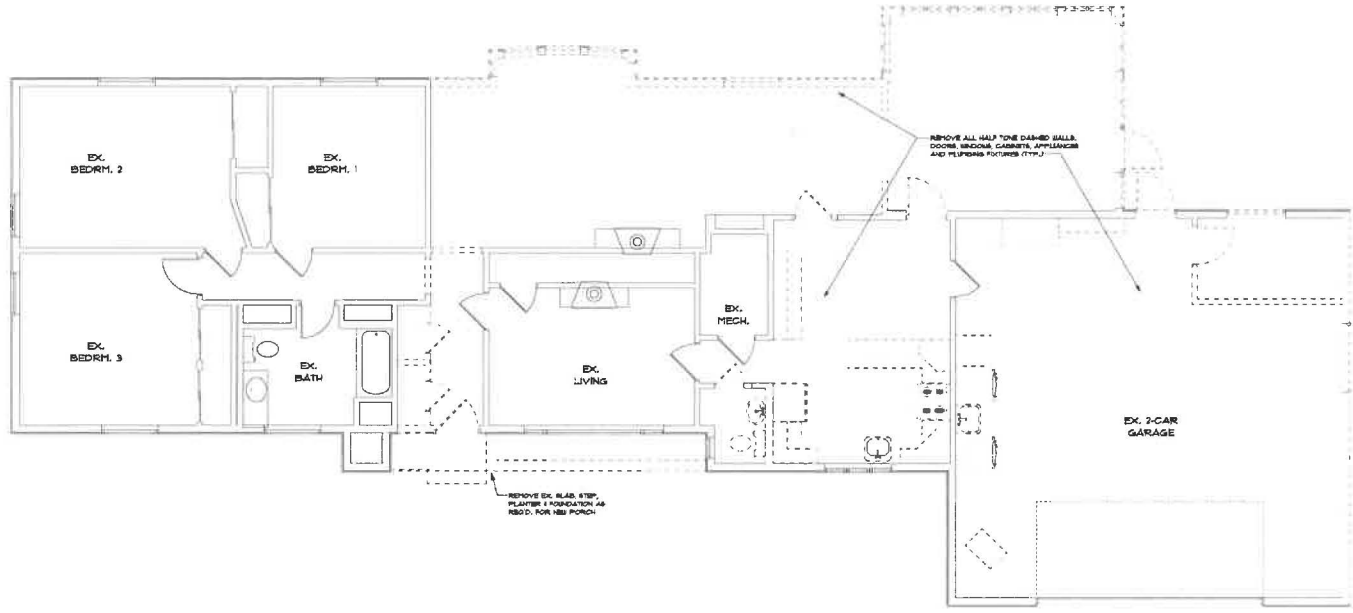
**INSPECTION:**  
 INSPECT EXISTING CONDITIONS, INCLUDING EXISTING SUBJECT TO HOISTING OR DAMAGE DURING CUTTING, EXCAVATING, BACK FILLING, PATCHING, AND OTHER RELATED DEMOLITION WORK.

IF DISCOVERED CONDITIONS ARE NOT ACCEPTED, IMMEDIATELY NOTIFY THE ARCHITECT AND SECURE NEEDED PERMISSIONS OR NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.

PROVIDE ALL NECESSARY PROTECTION, INCLUDING BUT NOT LIMITED TO, SHIELDING, BRACING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJACENT STRUCTURES, PROTECTION FROM DAMAGE TO ALL LANDSCAPES NOT DESIGNATED FOR REMOVAL, PROTECTION TO ALL PUBLIC UTILITIES AND OTHERS.

REMOVING ALL NECESSARY REINFORCEMENT AND SAFE RELINE AS NEEDED, PREVENT COLLAPSE, REMOVAL, AND DEMOLITION WORK BY PERSONS WHOSE ACTIONS COULD CAUSE DAMAGE TO OTHER PORTIONS OF THE WORK AND SURROUNDING PUBLIC AND PERSONAL AND REAL PROPERTY AND ALL PERSONS FROM DAMAGE TO NEARBY INSTALLATION OF WORK AND NEW WORK.

**GENERAL MAINTENANCE NOTES:**  
 1. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN AREA OF WORK SO AS TO DISRUPT ANY APPROPRIATE ACTION NEEDED TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.  
 2. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SYSTEMS AND REQUIREMENTS PRIOR TO START.



AS-BUILT/DEMO FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

STUDIO

**STAHANCZYK RESIDENCE**

AS-BUILT DEMO FIRST FLOOR PLAN

Notes

15 OCTOBER, 2024

A3.1

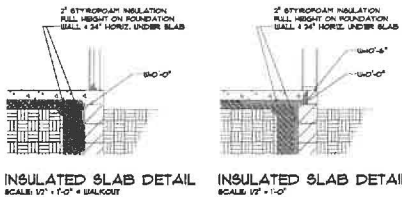


**FOUNDATION NOTES:**

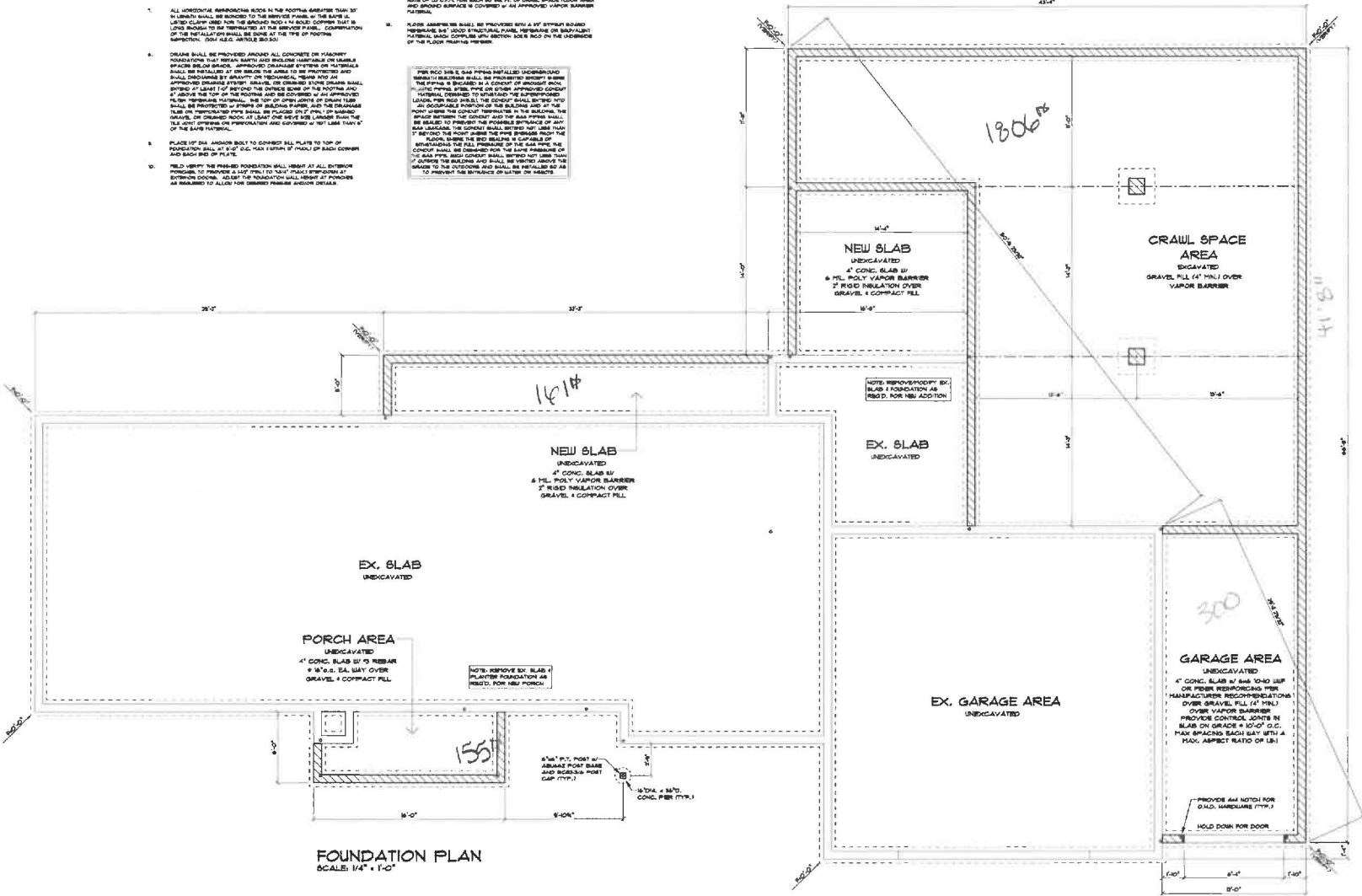
1. REFER TO GENERAL NOTES AND GENERAL CODE REQUIREMENTS ON SHEET 01.1.
2. ALL 8" FLOOR OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 1/2" CONTIGUOUS REINFORCED CONCRETE FOOTING 4" OVER REINFORCEMENT.
3. ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8" X 8" CONTIGUOUS REINFORCED FOOTING 4" OVER REINFORCEMENT.
4. CONCRETE FWD FOOTING TO BE REINFORCED EACH WAY AS FOLLOWS:
 

30"x30"	(2) #4
36"x36"	(2) #4
42"x42"	(2) #4
48"x48"	(2) #4
54"x54"	(2) #4
60"x60"	(2) #4
5. ALL PREPARED CONCRETE LINTELS AT ROOFING LEVEL CHANGE SHALL HAVE 4" OVER REINFORCEMENT AT EACH END.
6. WHEN INSULATION IS INSTALLED IN THE FOOTING WALL REINFORCEMENT SHALL BE BUNDLED TO THE FOOTING REINFORCEMENT.
7. ALL INSULATED REINFORCED BLOCK IN THE FOOTING REINFORCEMENT SHALL BE LAPPED AND SHALL BE BUNDLED TO THE REINFORCEMENT. AT THE LAPS OR LATER CLAMP OVER FOR THE GRAVEL FILL & BLOCK CORNER THAT IS LONG ENOUGH TO BE TERMINATED AT THE REINFORCEMENT. CONNECTION OF THE REINFORCEMENT SHALL BE DONE AT THE TIME OF FOOTING REINFORCEMENT. (SEE A.I.C. ARTICLE 802.5)
8. DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS THAT INSTANT BATTERY AND INSULATION (UNLESS ON DOUBLE BRACE) BELOW GRADE. APPROVED DRAINAGE SYSTEMS OR MATERIALS SHALL BE INSTALLED AT THE BOTTOM OF THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR TECHNICALLY SOUND MEANS TO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR GRAVEL FILL SHALL BE PROVIDED AT LEAST 1" ABOVE THE DRAINAGE SYSTEM ON THE TOP AND 1" ABOVE THE TOP OF THE FOOTING AND BE COVERED BY AN APPROVED FLEXIBLE IMPERMEABLE MATERIAL. THE TOP OF CONCRETE OR MASONRY WALL SHALL BE PROTECTED BY FINISH OR SLABING FINISH AND THE DRAINAGE SHALL BE INSTALLED AT LEAST 1" ABOVE THE FINISH OF FINISHING GRAVEL OR GRAVEL FILL. AT LEAST ONE WEIR SHALL BE PROVIDED TO PREVENT OVERFLOW AND COVERED BY NOT LESS THAN 4" OF THE SAME FINISH.
9. PLACE UP OR INS. ANCHORS BUILT TO CORRECT WALL PLATE TO TOP OF FOUNDATION WALL AT 2'-0" O.C. MAX 1' UPON 1' MAX OF EACH CORNER AND EACH END OF PLATE.
10. FIELD VERIFY THE FINISHED FOUNDATION WALL HEIGHT AT ALL EXTERIOR FOUNDATIONS. PROVIDE A 1/2" MIN TO 1" MAX TOLERANCE AT EXTERIOR CORNERS. ADJUST THE FOUNDATION WALL HEIGHT AT FOUNDATIONS AS NECESSARY TO ALLOW FOR FINISHED FINISH AND/OR DETAILS.
11. ALL STEEL COLLARS NEEDED TO PLUG ARE NECESSARY TO PREVENT COLLAPSE. SIDE OF STEEL COLLARS NOTED ON PLANS AND REVISIONS EXCEPT AS CALLED FOR IN THE REVISION SECTION 803.1.
12. ALL STEEL BRACES ARE OBSERVED FOR 90° CORNERS.
13. STEEL BRACE BEINGS ON AN OPEN POCKET SHALL BE SECURED TO THE FOUNDATION PER THE REVISION SECTION 803.1.
14. STEEL BRACE SHALL BE SECURED TO THE TOP PLATE OF SUPPORTING STEEL COLLARS AND SHALL BE SECURED OR BOLTED CONNECTION AS CALLED FOR IN THE REVISION SECTION 803.1.
15. PLATE BRACE ARE CONNECTED BY TOP CHAMFER WITH BOLT 1/2" O.C. 2' FROM TOP 1 BOTTOM 2 BARS. STAGGER TOP 1 BOTTOM BARS 2'.
16. ANCHOR BOLT OF A VERTICAL DIMENSION MORE THAN 4" SHALL BE EQUIPPED BY A PERMANENTLY ANCHORED LATCH OR OTHER MEANS IN THE ANCHOR IN THE FULL OPEN POSITION. LATCH OR MEANS SHALL HAVE AN ANCHOR BOLT OF AT LEAST 1/2" DIAMETER AND SHALL BE INSTALLED AT LEAST 1" FROM THE FULL HEIGHT OF THE ANCHOR BOLT.
17. CRACK SPACE BETWEEN VENTILATION OPENINGS MAY BE OMITTED WHEN CONTIGUOUSLY OVERLAPPING VENTILATION IS PROVIDED AT A RATE OF 1/2" O.C. FOR EACH 8" DIA. OF DRAINAGE FLOOR AREA AND GRAVEL SURFACE IS COVERED BY AN APPROVED VAPOR BARRIER MATERIAL.
18. FLOOR JOISTING SHALL BE PROVIDED WITH A 1/2" SYSTEM BOARD NEARBY TO 1/2" DIA. (2" DIA. MAX) PLACING, THE BOARD OR BRACKET MATERIAL AND COVERING WITH REINFORCED BLOCK ON THE UNDERSIDE OF THE FLOOR FINISHING MEMBRANE.

FOR RISC THIS IS A PIPING INSTALLED UNDERGROUND. THE PIPING IS SECURED BY A CONCRETE OR MASONRY WALL. THE PIPING SHALL BE PROVIDED WITH AN APPROVED CONCRETE MATERIAL. THE CONCRETE SHALL BE INSTALLED TO THE OCCUPANCY OF THE BUILDING AND AT THE POINT WHERE THE CONCRETE INTERSECTS IN THE BUILDING, THE CONCRETE SHALL BE INSTALLED TO PREVENT THE POSSIBLE ENTRANCE OF AIR OR WATER INTO THE BUILDING. THE CONCRETE SHALL BE INSTALLED TO PREVENT THE POSSIBLE ENTRANCE OF AIR OR WATER INTO THE BUILDING. THE CONCRETE SHALL BE INSTALLED TO PREVENT THE POSSIBLE ENTRANCE OF AIR OR WATER INTO THE BUILDING.



INSULATED SLAB DETAIL SCALE: 1/2" = 1'-0" & WALKOUT  
INSULATED SLAB DETAIL SCALE: 1/2" = 1'-0"



FOUNDATION PLAN SCALE: 1/4" = 1'-0"

**STAHANCZYK RESIDENCE**

FOUNDATION PLAN

Notes

15 OCTOBER, 2024

A.1



STAHANCZYK RESIDENCE

FIRST FLOOR PLAN

Notes

15 OCTOBER, 2024

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A.2

FLOOR PLAN NOTES:

- 1. REFER TO GENERAL NOTES AND SPECIAL CONDITIONS IN BOOK 01.
- 2. ALL WALLS ARE FINISHED INTERIORS UNLESS NOTED.
- 3. ALL INTERIORS SHALL BE 8'0" CEILING UNLESS NOTED. ALL EXTERIORS SHALL BE 7'0" CEILING UNLESS NOTED.
- 4. ALL FLOORS SHALL BE 1/2" MINIMUM THICKNESS UNLESS NOTED. ALL FLOORS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED. ALL FLOORS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED.
- 5. ALL OPENINGS SHALL BE A MINIMUM OF 20" x 20" UNLESS NOTED. ALL OPENINGS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED.
- 6. ALL DOORS SHALL BE 2'0" x 8'0" UNLESS NOTED. ALL DOORS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED.
- 7. ALL WINDOWS SHALL BE 2'0" x 4'0" UNLESS NOTED. ALL WINDOWS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED.
- 8. REFER TO THE GENERAL NOTES ON THIS SHEET.
- 9. REFER TO THE GENERAL NOTES ON THIS SHEET.
- 10. REFER TO THE GENERAL NOTES ON THIS SHEET.
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- 19. REFER TO THE GENERAL NOTES ON THIS SHEET.
- 20. REFER TO THE GENERAL NOTES ON THIS SHEET.

NOTE: REFER TO SHEET 01 FOR ALL FINISH AND MATERIALS.

ALL FINISHES SHALL BE AS SHOWN ON THIS SHEET UNLESS NOTED OTHERWISE.

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

STRUCTURAL LEGEND

- 1. FLOOR FINISH
- 2. FLOOR FINISH
- 3. FLOOR FINISH
- 4. FLOOR FINISH
- 5. FLOOR FINISH
- 6. FLOOR FINISH
- 7. FLOOR FINISH
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- 16. FLOOR FINISH
- 17. FLOOR FINISH
- 18. FLOOR FINISH
- 19. FLOOR FINISH
- 20. FLOOR FINISH

NOTE TO CONTRACTOR AND BELOW SUBCONTRACTORS:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

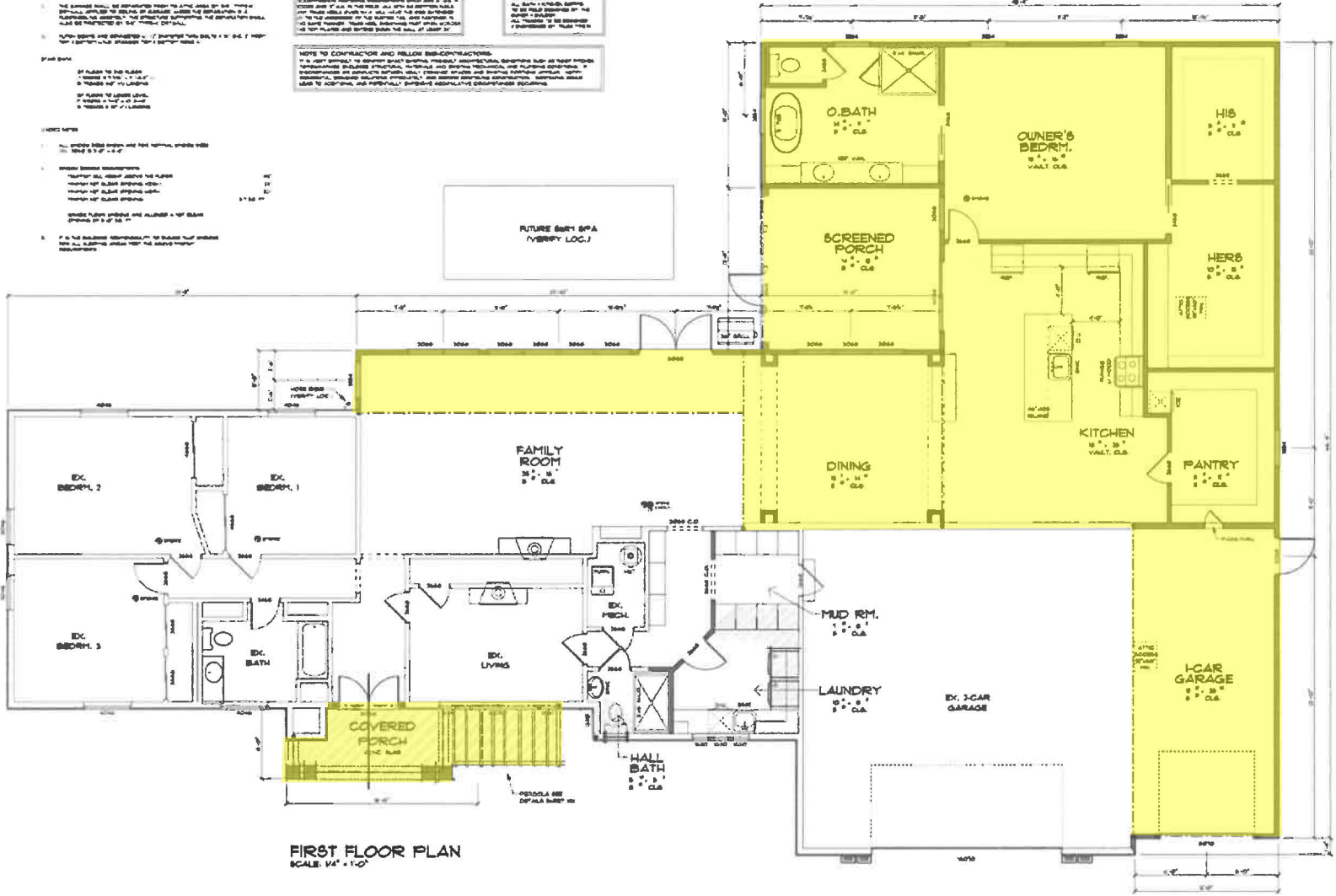
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

GENERAL NOTES:

- 1. REFER TO SHEET 01 FOR ALL FINISHES AND MATERIALS.
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- 19. REFER TO SHEET 01 FOR ALL FINISHES AND MATERIALS.
- 20. REFER TO SHEET 01 FOR ALL FINISHES AND MATERIALS.



FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"



STAHANCZYK RESIDENCE

FRONT & LEFT ELEVATIONS

Notes

15 OCTOBER, 2024

A.3

These elevations shall show all work, both exterior and interior, as shown on the drawings and shall include all work necessary to complete the project as shown on the drawings.

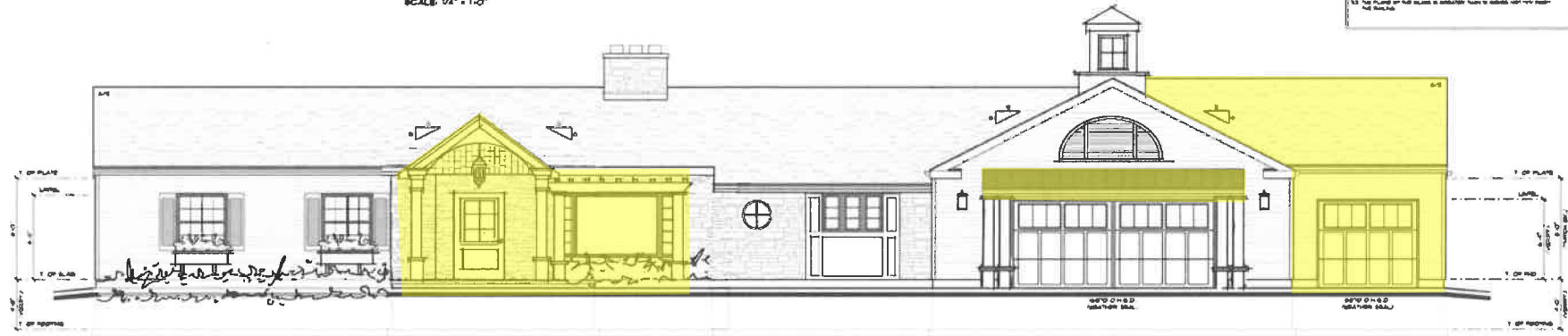
- GENERAL NOTES**
- All work shall be in accordance with the applicable building codes and standards.
  - Work shall be in accordance with the applicable building codes and standards.
  - Work shall be in accordance with the applicable building codes and standards.

**NOTE**  
GRADE SHALL BE 6" BELOW FINISH GRADE.  
FINISH GRADE SHALL BE 6" BELOW FINISH GRADE.

- ADDITIONAL NOTES**
1. All work shall be in accordance with the applicable building codes and standards.
  2. All work shall be in accordance with the applicable building codes and standards.
  3. All work shall be in accordance with the applicable building codes and standards.
  4. All work shall be in accordance with the applicable building codes and standards.
  5. All work shall be in accordance with the applicable building codes and standards.
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  14. All work shall be in accordance with the applicable building codes and standards.
  15. All work shall be in accordance with the applicable building codes and standards.
  16. All work shall be in accordance with the applicable building codes and standards.
  17. All work shall be in accordance with the applicable building codes and standards.
  18. All work shall be in accordance with the applicable building codes and standards.
  19. All work shall be in accordance with the applicable building codes and standards.
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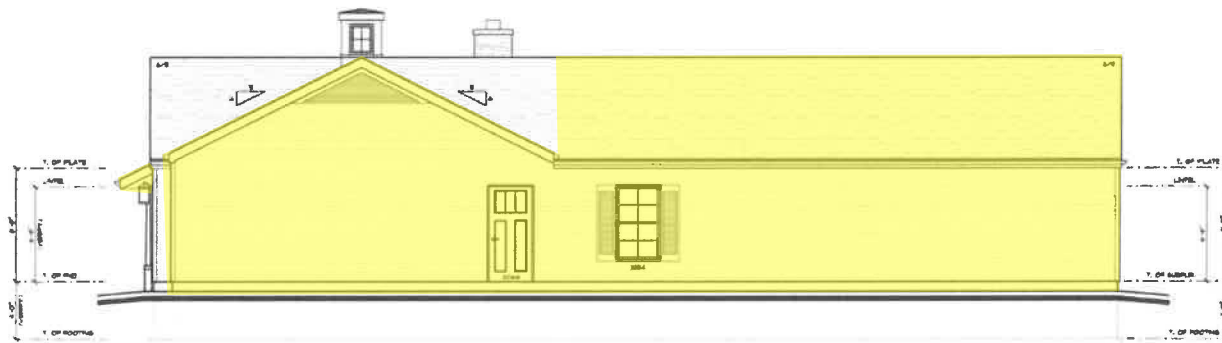
LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE:  
 BRICKS SMALL WALL 8" PINK BRICK  
 REST OF FRONT BUILDING BRICKWORK

NOTE: SEE SHEET A-3 FOR ELEVATION  
 NOTES AND REQUIREMENTS



RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"



REAR ELEVATION  
 SCALE: 1/4" = 1'-0"



STAHANCZYK RESIDENCE

DESIGNED BY  
 JAMES HANCOCK ARCHITECTS

REAR & RIGHT ELEVATIONS

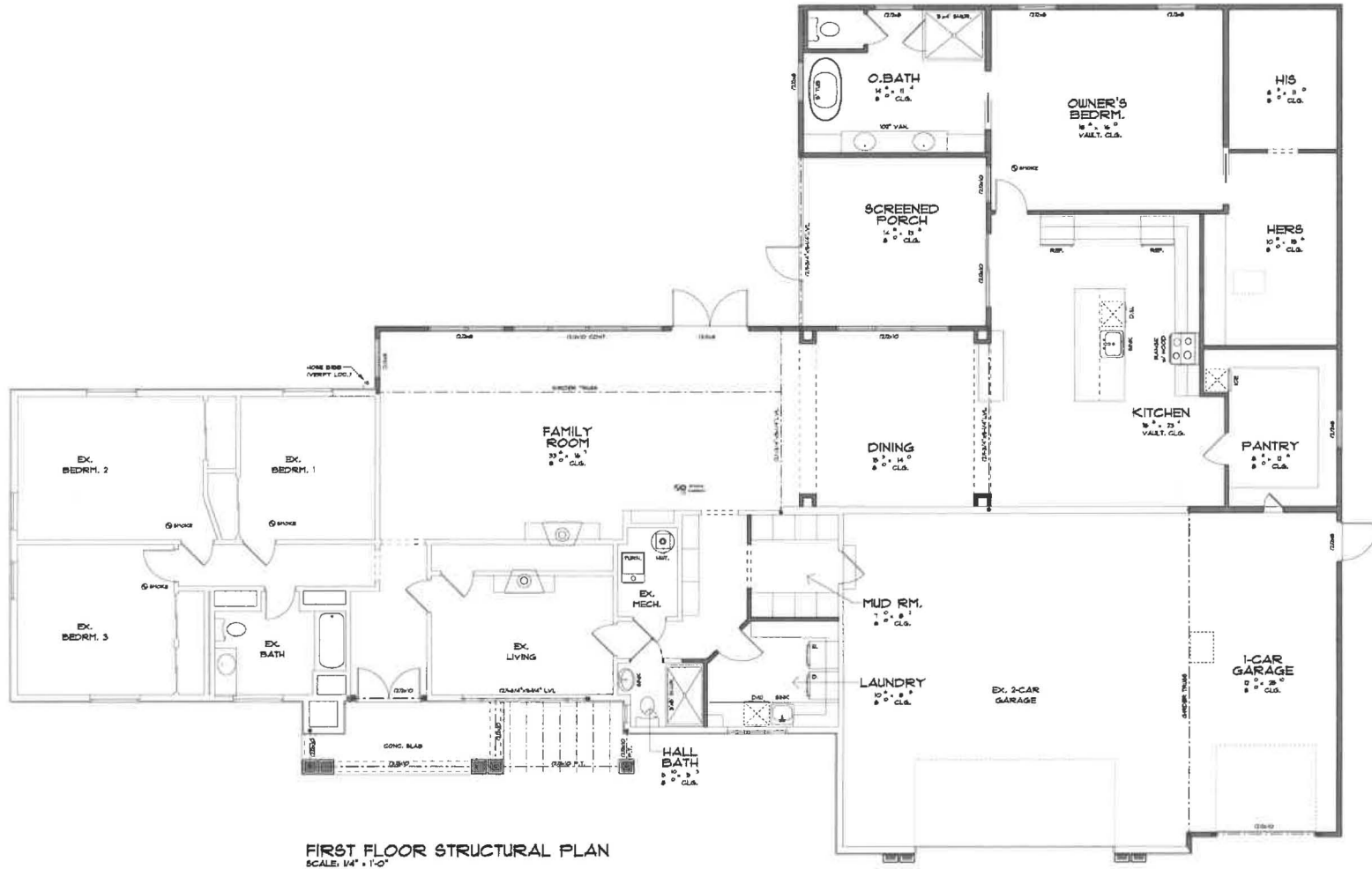
Notes

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CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE ILLINOIS STATE BUILDING CODE. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

A-1





STAHANCZYK RESIDENCE

FIRST FLOOR STRUCTURAL PLAN

Notes

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S.1

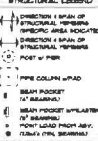
DESIGNED BY  
LAWRENCE HANDEL CO. ARCH.

NOTE: REFER TO SHEET CG11.02 FOR GENERAL PLUMBING NOTES.

**ROOF NOTES:**

1. REFER TO GENERAL NOTES ON SHEET CG1.
2. ALL RAFTERS SHALL BE SIZED BY THE DESIGNER TO SUPPORT A CONTINUOUS (OR SPANNING) BEYOND WALLS WHERE JOINTS ARE PARALLEL TO THE RAFTERS. JOINTS NOT PARALLEL TO RAFTERS SHALL BE TIED TO A RAFTER OR LOCATED AS NEAR THE PLATE AS IS PRACTICAL. RAFTERS SHALL BE SPACED NOT MORE THAN 4'-0" O.C. RAFTERS SHALL BE FINISHED TO MATCH BOARDING OR TO MATCH JOINTS OF BOARDING FINISH AS A TE.
3. ROOF BOARDING SHALL BE AT LEAST 1" NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE GUT BIRD OF THE RAFTERS. WHEN THE GUT BIRD OF THE RAFTERS JOINS TO THE ROOF BOARDING SHALL BE CONSTRUCTED OF A SOLID PIECE OF AN ADDITIONAL 1/4" AS NOMINALLY FINISHED TO THE BOTTOM EDGE OF THE BOARDING.
4. VALLEY TYP RAFTERS SHALL BE SUPPORTED AT THE ROOF BY A BRACE TO A WALLING PARTITION WALL, OR BE DESIGNED TO CARRY OVER THE SPECIFIC LOAD AT THAT POINT.
5. UP VALLEY RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE JOINT ENDS OF THE RAFTERS.
6. JOINTS OF CEILING JOINTS SHALL BE LAPPED OR BUTTED OVER BEARING PARTITIONS OR BEAT 1" OVERLAP TO THE BEARING MEMBER. WHEN CEILING JOINTS ARE BUTTED TO PROVIDE BEARING TO RAFTER TRUSS, LAP JOINT SHALL BE CLIPPED & SIZED THROUGH 1 BUTTED JOINTS SHALL BE TIED TOGETHER IN A MANNER TO RESIST LOAD TRAFFIC.
7. ALL LATHES IN EXTERIOR LOAD-BEARING INTERIOR WALLS SHALL BE A MINIMUM OF 2x6x8 & SIZED TO MATCH CEILING NOTED OTHERWISE.
8. ALL POINTS SHALL BE A MINIMUM OF 2x6x8 & SIZED TO MATCH CEILING NOTED OTHERWISE.
9. ALL RAFTERS & CEILING JOINTS FOR FINISH ALLOWABLE TENSILE BULGING MAY UPSET FINISHING FOR FINISH AS IS.
10. ALL CEILING JOINTS SHALL CONSIST OF AT LEAST 2 LAYERS OF ADHESIVELY BONDED TOGETHER OR BALANCED POLYMER BLENDED SHEET SHALL BE USED IN LIEU OF NOMINAL ADHESIVELY BONDED FROM THE BOARD EDGE TO A POINT AT LEAST 24" FROM THE INTERIOR WALL LINE OF THE BEARING STRUCTURE SHALL COMPLY W/ ASTM D 36 TYPE 1.

**STRUCTURAL LEGEND**



**NOTES**

- 1. INCLUDE TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
- 2. ALL CEILING JOINTS SHALL BE FINISHED TO MATCH BOARDING.
- 3. ALL RAFTERS TO BE FINISHED TO MATCH BOARDING.
- 4. ALL TRUSSES TO BE FINISHED TO MATCH BOARDING.

**SCAB RAFTER CHART**

S1x6 SCAB	6'-0"	24' o.c.
2x6 SCAB	8'-0"	24' o.c.
2x6 SCAB	10'-0"	24' o.c.
2x6 SCAB	12'-0"	24' o.c.
2x6 SCAB	14'-0"	24' o.c.
2x6 SCAB	16'-0"	24' o.c.

**NOTE:**

TRUSS CLIPS TO BE USED TO CONNECT TOP WALL PLUMB TO TRUSS TO APPROPRIATE TRUSS LPT. JOINTS TO BE MADE AT ALL INTERIOR WALL CONNECTIONS AND FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS. (SEE DETAIL ON SHEET CG11.02 FOR ALL INTERIOR WALL CONNECTIONS AND FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS.)

**NOTE TO FINISHING CONTRACTOR AND BUILDER**

BECAUSE IT IS POSSIBLE TO OVER USE EACH WOULD PREFER TO FINISH THE ROOF OF EACH HOUSE TO BE FINISHED ON PROVISIONS TO FINISH THE STRUCTURAL MEMBER THAT WILL BE THE BASIS OF EACH RAFTER OR TRUSS TO BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS. THE TRUSS THAT WILL BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS SHALL BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS. THE TRUSS THAT WILL BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS SHALL BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS.

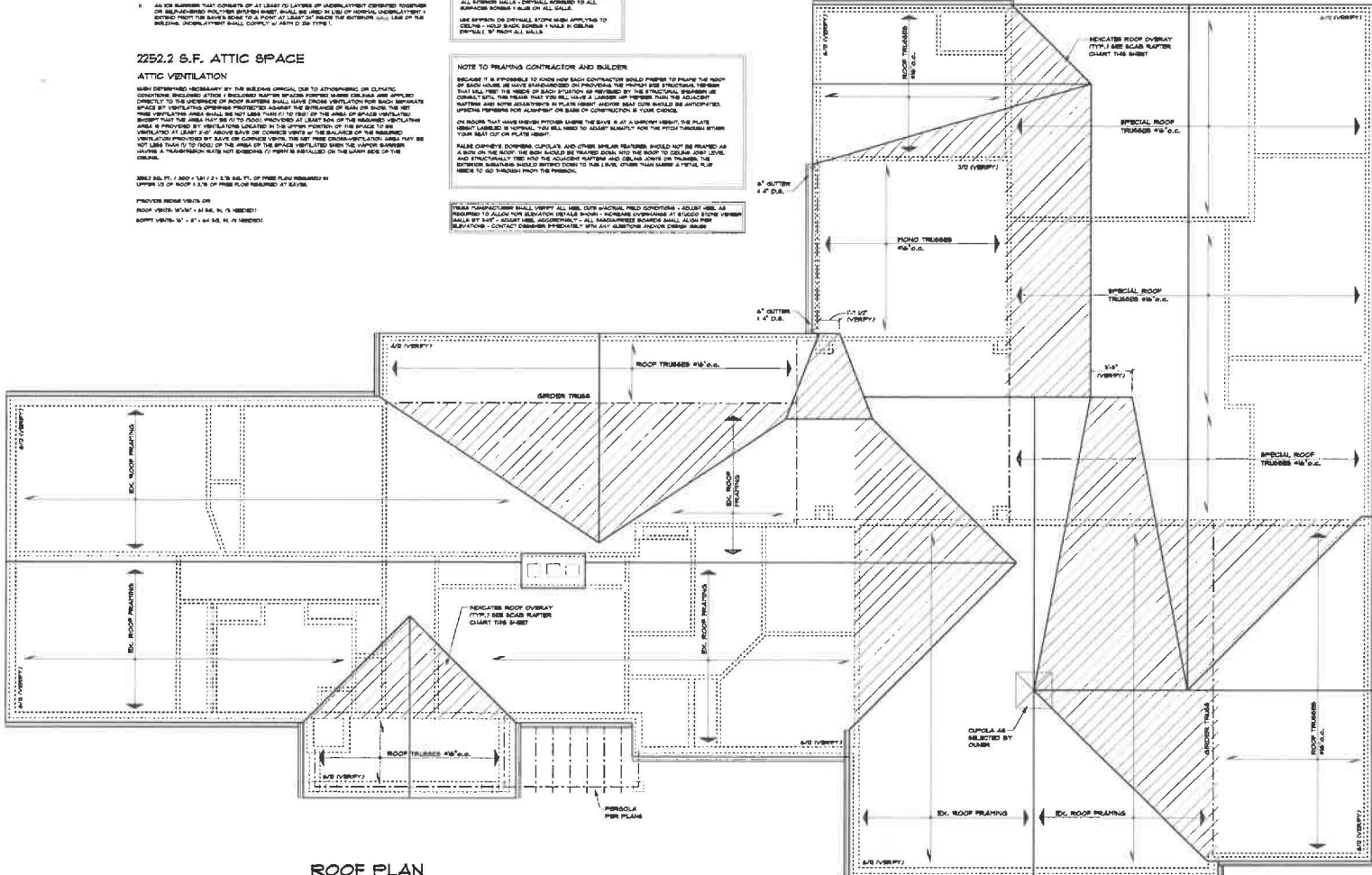
**2252.2 S.F. ATTIC SPACE**

**ATTIC VENTILATION**

WHEN DETERMINED NECESSARY BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, THE ATTIC SPACE SHALL BE VENTILATED TO THE OUTSIDE AS DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE ROOF VENTILATION FOR EACH RAFTER SPACE BY 1/4" SQUARE VENTS PER 100 S.F. OF ATTIC SPACE. THE ROOF VENTILATION SHALL BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS. THE ROOF VENTILATION SHALL BE FINISHED TO MATCH BOARDING TO TOP PLATE OF WALLS.

2252 SQ. FT. / 200 x 14' x 11' 8" 8.6 SQ. FT. OF FREE FLOW REQUIRED AT UPPER 10' OF ROOF 1 1/2" X 8" OF FREE FLOW REQUIRED AT 8' ABOVE.

PROVIDE ROOF VENTS OR ROOF VENTS 1/4" x 8" x 11' 8" (MINIMUM) ROOF VENTS 1/4" x 8" x 11' 8" (MINIMUM)



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

STUDIO

**STAHANCZYK RESIDENCE**  
Architect: [Name]  
Landscape Architect: [Name]

**ROOF PLAN**

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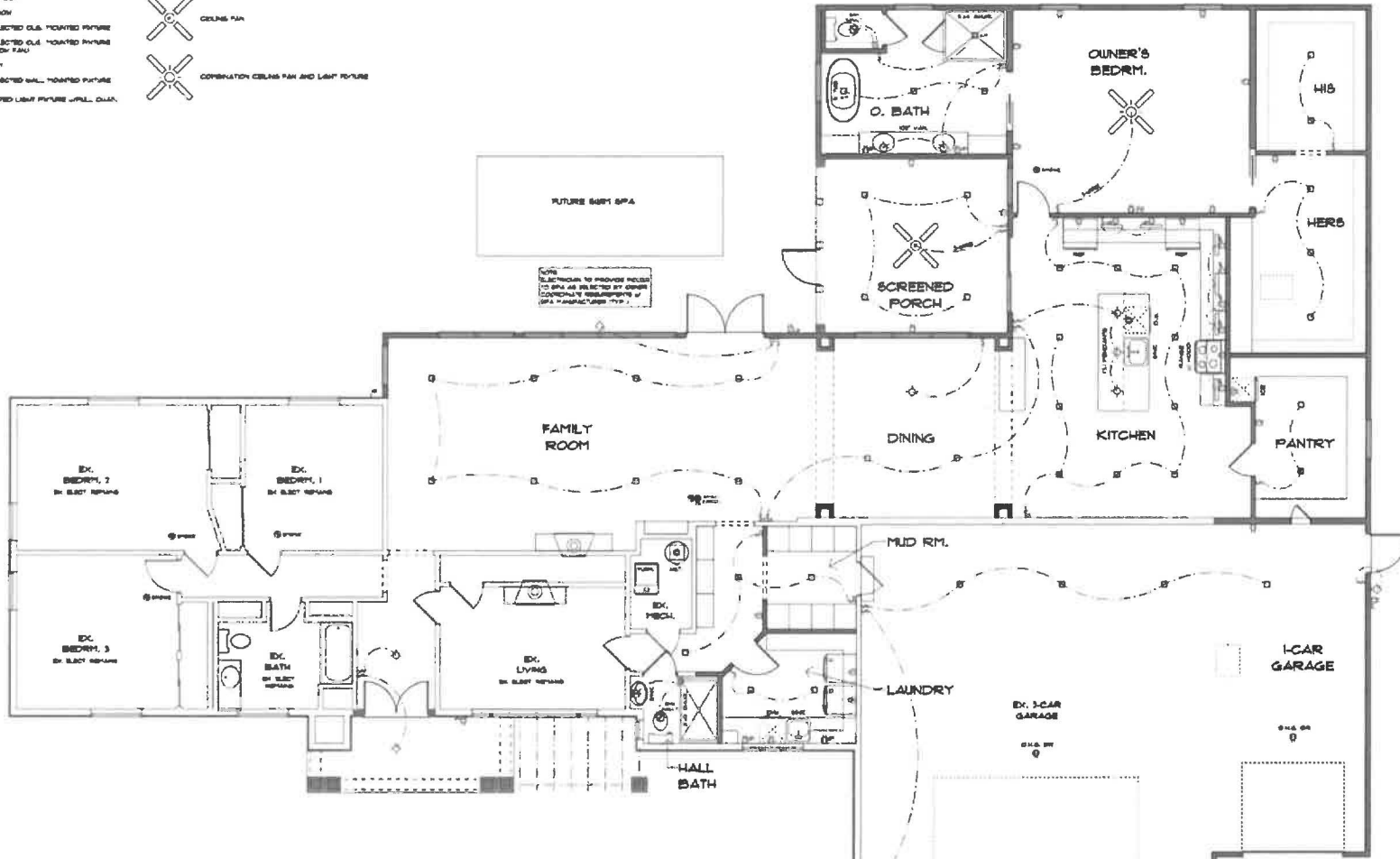
**Notes**

**15 OCTOBER, 2024**

S.2

**ELECTRIC SYMBOLS**

- |   |  |
|---|--|
| ⊞ SINGLE POLE SWITCH                                  | ⊞ CEILING RECESSED TV/FUSE   |
| ⊞ 3 WAY SWITCH  | ⊞ HOTS RECESSED CANS TO BE LED SPOOK, 100 LUMENS   |
| ⊞ 4 WAY SWITCH  | ⊞ CEILING RECESSED (ADJUSTABLE SPLAY)  |
| ⊞ 4WY SWITCH WITH DIMMER                              | ⊞ CEILING (SHADE) 12" RECESSED FAN VERIFY LOCATION/NOTION IN ATTIC - VERIFY LOCATION IN BUILDING |
| ⊞ MOTION ACTIVATED SWITCH/SENSOR                      | ⊞ CEILING (SHADE) FAN - 14"TYPE 4T SERIES  |
| ⊞ 100V DUPLEX RECEPTICAL                              | ⊞ COMBINATION CEILING EXHAUST FAN AND LIGHT FIXTURE - 14"TYPE 4T SERIES                          |
| ⊞ 200V DUPLEX RECEPTICAL                              | ⊞ SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)   |
| ⊞ SPECIAL OUTLET                                      | ⊞ BATTERY FLOOD LIGHTS   |
| ⊞ TELEPHONE OUTLET                                    | ⊞ FLOORSCREW FIXTURE   |
| ⊞ CABLE OUTLET  | ⊞ UNDER CABINET MOUNTED KNOCKER  |
| ⊞ DATA PORT (COMPUTER JACK)                           | ⊞ TRACK LIGHTS   |
| ⊞ GROUND FAULT CIRCUIT INTERRUPTER                    | ⊞ CEILING FAN  |
| ⊞ WEATHER-PROOF                                       | ⊞ COMBINATION CEILING FAN AND LIGHT FIXTURE  |
| ⊞ ANCHOR BOLT   |  |
| ⊞ OWNER SELECTED CUL. MOUNTED FIXTURE                 |  |
| ⊞ OWNER SELECTED CUL. MOUNTED FIXTURE (METAL BOX FAN) |  |
| ⊞ STAR LIGHT  |  |
| ⊞ OWNER SELECTED WALL MOUNTED FIXTURE                 |  |
| ⊞ CUL. MOUNTED LIGHT FIXTURE (WALL DOWN)              |  |



**FIRST FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**STAHCANZYK RESIDENCE**

FIRST FLOOR ELECTRICAL PLAN

Notes

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E.1