



STAFF REPORT

Board of Zoning Appeals
Meeting Date: April 16, 2025

Case #:	BZA-2025-045	Address:	292 Gravel Bar
Appellant:	Joseph Nejd, Owner	Zoning:	“R-C” Recreational Comm.
Agent:	John Feick, Architect Joey Vassallo Builders, LLC, Contractor		
Request:	Request for Area Variances from Section 5.1.7 to allow for the rebuild of a single-family home to encroach into the south, side-yard setback (1'8" proposed/ 5' required) and to Section 7.12.3.C to raze an existing nonconforming structure more than 75% of the existing floor area and rebuild in the same location.		

SUMMARY:

The property is part of the Port Ann Subdivision, which was platted in 1951, and the existing structure was nonconforming because the house sat at 2'8" to the south, side property line (1'8" if an overhang was present) where 5' was required. The applicant came before the Board of Zoning Appeals in October 2024 (BZA Case# 2024-245) requesting variances to allow for a 23' x 36'4" (831s.f.) addition to encroach into the south, side-yard setback and to exceed the 20% addition limitation onto a nonconforming structure. These variances were approved. A zoning permit for the addition, which included an "L" shaped covered porch, was issued in November 2024 (#2024-304).

Upon inspection of the property January 22, 2025, the footer and foundation had been poured for the addition. Upon inspection of the property March 3, 2025, the existing home that was identified on the plans as remaining, had been torn down and was in the process of being rebuilt (See Township Ex. #3). The architect was contacted immediately before leaving the job site, providing him a verbal "Stop Work Order". He indicated to me that day he was not aware of what took place because he was not contracted on this project to oversee it, like he is in many others at Lakeside. The architect did reach out to the homeowner to notify them of my contact and to explain the issues the teardown posed, not only for zoning but also for the Building Department because the plans they were issued a permit on were no longer being followed. The applicant has provided in your packets 3 pages of photographs A-P and their explanation on how and why it was decided to tear down the original part of the house.

A nonconformity is defined in Section 2.2. of the zoning resolution as *"A building, structure or use of land existing at the time of enactment of this Resolution, and which does not conform to the regulations of the district or zone in which it is situated."* This is reiterated in Section 7.12.1 and the Purpose Statement, which states *"The purpose of this section is to (1) define the legal status of buildings or land uses which do not conform to this Resolution but which were in operation prior to the enactment of this Resolution and (2) to provide either for the conversion of nonconforming uses into conforming uses as soon as reasonably possible or for their eventual and equitable elimination."* Modifications to a Nonconformity are explained in Section 7.12.3.C., *"A nonconforming use or structure which has been damaged by fire, explosion, act of God, or the public enemy or demolished, removed, or structurally altered voluntarily, to the extent of seventy-five (75) percent or more of the floor area contained in the building or structure at the time of damage shall not be restored, rebuilt or enlarged except in conformity with the regulations of the district in which it is located."*[emphasis added with the underline].

The applicant is proposing to rebuild the single-family home, including the 2024 proposed addition in the same location of the former structure which will be 2'8" to the south, side property line (1'8" if an overhang is present) where 5' is required. Essentially with the tear down of the original part of the house, the previous variances granted in 2024 are now null-in-void since we are no longer dealing with an existing, nonconforming structure, and this is now viewed as all new construction that should have been brought into compliance. The only change from the last application is that the applicant is now proposing a larger wrap-around porch in this application, which meets the setback requirements. The porch portion and "addition" is no longer subject to the 20% addition limitation since we no longer have a

protected nonconformity. Lot coverage and building height requirements are all satisfied for the new construction.

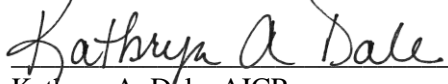
To a degree we are in this position as a result of the applicants' own actions and the consequences of those actions are not blind to the Board on the potential outcomes (approve & continue work as started or deny & remove what has been done in order to comply). The duty of the Board, however, is to determine if the strict enforcement of the zoning requirements for the specific lot would present "practical difficulties." Port Ann Subdivision when it was platted consisted of 40' wide lots. This property consists of two lots and 15' of a 3rd lot and is the largest lot in this subdivision. The applicant's own narrative statement essentially acknowledges that the property can be beneficially used the same as intended if the house is moved because there is ample space.

The Board must consider, had a teardown and rebuild been presented before the house was razed, would the Board have granted the variances needed for new construction to encroach into the required setbacks?

STAFF RECOMMENDATION:

None.

SUBMITTED BY:



Kathryn A. Dale, AICP
Danbury Township Zoning Inspector

Date Prepared: March 31, 2025

List of Exhibits Enclosed:

- Exhibit 1: BZA Application
Appellants Narrative Statement
Appellants explanation of tear down
Updated house plans
Adjacent property owners' notification list
Property Deed
- Exhibit 2: Refused Permit
Site plan
- Twp. Ex. 1: 03.13.25 Photo's A-E



Danbury Township, Ohio

5972 E. Port Clinton Rd.
Marblehead, Ohio 43440
☎: (419) 734-6120 F: (419) 734-3137
🌐: www.danburytownship.com



BOARD OF ZONING APPEALS APPLICATION

Date Filed: 3/21/25 Application #: 2025-045

Action: _____

Rejected Permit: 2025-042 Approved Permit: _____

1. **Property Location:** 292 Gravel Bar

Parcel ID# 0141248516634000 Zoning District: "R-C" Recreational Comm.

Attach Deed For Complete Property Legal Description

Existing Use SF Home Proposed Use Raze & Rebuild SF in same location

2. **Agent** John Feick, Feick Design Address 224 E. Water Street

City Sandusky State Ohio Zip 44870 Phone (419) 625-2554

Email: feickja3@gmail.com

3. **Appellant/ Owner** Joseph Nejdil : Debbie Address 3230 W. Wallings Road

City Broadview Heights State Ohio Zip 44147 Phone (440) 665-4053

Email: shoprag2008@hotmail.com

Use an additional application if there is more than one owner making the request.

4. **Specific Request:**

Area Variance **Use Variance** **Special Exception** **Conditional Use** **Appeal**

Chapter / Section Request for Area Variances from Section 5.1.7 to allow for the rebuild of a single-family home to encroach into the south, side-yard setback (1'8" proposed/ 5' required) and to Section 7.12.3.C to raze an existing nonconforming structure more than 75% of the existing floor area and rebuild in the same location.

Practical Difficulty SEE ATTACHED NARRATIVE STATEMENT

Attach Separate Narrative Statement Describing The Request If Additional Space Is Needed.

5. Attach a Narrative Statement with a response to each Decision Standard listed in **Attachment "A"** hereto, as is relates to the specific request.

6. Maximum 11" x 17" sized drawings. Attach a scaled site plan/ plot plan showing the dimensions of the property, location of roads, size and location of existing and proposed structures, including but not limited to driveways, patios, sidewalks and decks, as well as the setback distances from the property lines to each of these aforementioned items on

the property. Elevations shall also be submitted when applicable. Applications for signs shall include all drawings depicting the size, height and location of the proposed sign.

- 7. A typewritten list of the names & addresses of the property owners contiguous to and directly across the street from the property involved.
- 8. Photographs or any other information and documentation as it relates to the request being made.

An application is hereby made for an appeal before the Danbury Township Board of Zoning Appeals (BZA). It is understood and agreed to by the appellant(s) and agent(s) that the Board of Zoning Appeals is a quasi-judicial Board. The BZA's primary function is to hear testimony and issue a decision. The BZA only hears relevant, sworn testimony from the Appellant, his/her duly appointed agent or attorney, and any other person with standing to testify in a particular matter. The Appellant has the right to cross-examine any testimony given. Hearings are open to public attendance. Unless appealed to the judicial system, the subject property shall comply with the decision rendered and the laws of the State of Ohio, and; should an application be granted, a permit shall be applied for and issued 30 days after such decision is rendered. The Appellant and Agent hereby certify that the information and statements given on this application, drawings and specification are to the best of their knowledge, true and correct.

_____ (Agent's Signature) _____ (Date)
[Handwritten Signature] *3-21-2025*
 _____ (Appellant's Signature) _____ (Date)

Filing Fee = ~~\$200.00~~ Legal Ad Fee \$ _____ Postage Fee \$ _____ Total Fees Paid \$ _____ Amount Invoiced \$ _____
 Cash/ Check # 478 List of neighboring property owners provided? Yes No

PLEASE REFER TO THE BZA DOCKET CALENDAR FOR SUBMISSION DATES.
INCOMPLETE OR LATE APPLICATIONS WILL NOT BE ACCEPTED.

Do not write below this line

ZONING SUMMARY

BZA Hearing Date: 4/16/25 BZA Application #: 2025-045
 Notice Sent to Newspaper: 3/31/25 Published: 4/5/25
 Notice Sent to Neighboring Property Owners: 3/31/25
 BZA Action: Approved Denied Approved w/ Conditions Vote: _____

Decision Sheet signed: _____ Expiration of Approval: _____
 Date Letter Sent to Appellant: _____
 Permit# Issued: _____ Date: _____

Applicant's Narrative Statement & Response to Decision Standard's

Nejdl - 292 Gravel Bar

Scope of Work: During the construction of the addition to the west of the existing house, it was discovered that there was extensive damage due to an unknown leak at the windows. Over a long period of time the leak rotted the wall sheathing, the wall framings around the windows, the floor sheathing along the outside edge, the floor joist ends and sill. Because this was all on the exterior side of the house the damage was not noticeable.

Once the siding was removed to start tying in the new work, the damage was uncovered. The amount of rot and mold was unfathomable to us.

Because the house was now open to the weather our only thoughts were what we needed to do to get the damage repaired and everything covered up. In discussion with our contractor, we determined it would be faster to tear down the balance of the wood framing and rebuild on the existing foundation. We didn't realize we would need to get a variance to rebuild what was already there.

Decision Standards:

- A. The property in question **will** yield a reasonable return and **can** be used beneficially without the variance, if it is rebuilt 3-feet to the north out of the setback, because it will presumably be the original size after completion.
- B. The variance **is not** substantial because it will be in line of the addition to the west.
- C. The essential character of the neighborhood **would not** be substantially altered by the variance and adjoining properties **would not** suffer a substantial detriment as a result of the variance because it is a replacement of what had previously existed prior to the uncovering of the rot and mold damage.
- D. The variance **would not** adversely affect the delivery of governmental services (i.e. water, sewer, garbage, etc.) because everything is existing and not being relocated as a result of the granting of the variance.
- E. The property owner in 2010 **did not** purchase the property with knowledge of the zoning restriction but were aware of the restrictions in 2024 because they were granted a variance to construct the addition. However, the property owners were not aware that removing the wood framing of the house and rebuilding on the existing foundation required a variance.
- F. The property owner's predicament **can** feasibly be obviated by rebuilding a new foundation 3-feet north out of the side yard setback. While it is feasible, aesthetically, it would not look appropriate and financially it would be much more expensive.
- G. The spirit and intent behind the zoning requirement **would** be observed and substantial justice done by granting the variance because there is no negative impact on the neighbor to the south, who has been made aware of the issue, and since the original house existed there would be no change to any sight lines.



Thank you to everyone for your time and consideration with this matter. It is so important to us and we love this community, and our home here.

The reason we're here is to ask for a variance for our property on North Gravel Bar Road.

There was a "Stop Build" issued to stop any work being done on the property by the builder. After we found out, I immediately contacted our architect and asked why.

He stated that we need a variance because we took down the house fully.

It was never our intention to take the house down. When I spoke with our builder (prior to having to take it down) and talking about our flooring he cited major concerns. He said the flooring was "spongy" and saw that the floor only had 1/2" plywood and four layers of floor. This meant we needed to take the floor up.

When we removed the floor, we discovered **black mold** in the walls of the house and in all of our floor joists. We also found it on the south side of the house. The sill plates were rotted, as well as the 2x4 studs. We took the siding off the house to find the sheathing (plywood) also rotted and covered in black mold. At that point, the builder and I discussed what steps we needed to take next.

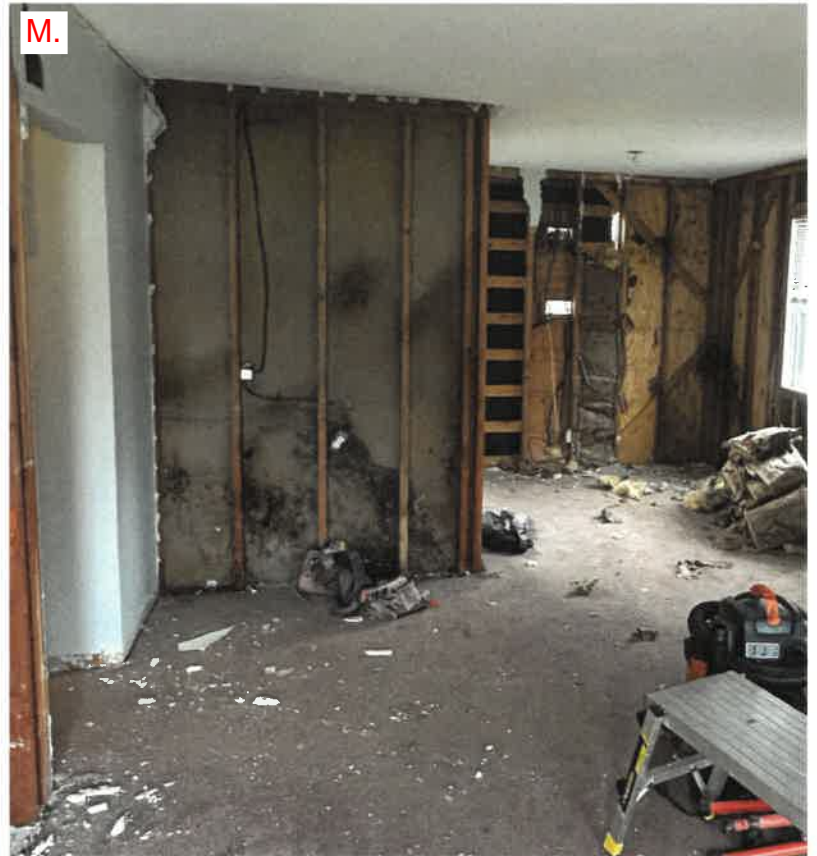


When discussing the issue and how extensive it was, and the cost associated, the builder stated that we were only saving one or two walls to begin with. It was his opinion that it would be better to start fresh because of all of the rotted floors, 2x4s, and sheathing (plywood). At this point we decided the best course of action was to take down what was left of the house. We were so overwhelmed about the mold and rotted wood, not to mention the cost, we truly did not realize that this would be a permit or variance issue because we were putting it back together exactly as we found it—just without the mold and rotted materials. We were just trying to make our house safe and try and solve the issue.

This is our forever home. We want to spend the rest of our lives here. Our grandkids love it here, and our family gathers here and it means so much to us.

We are so sorry about this, it was truly a mistake. We just didn't know what to do. Our intentions were always good, and we just want to make it right. Granting us this variance would mean so much, and we will never forget this and won't make this kind of mistake again.

Again, thank you for your time with this matter. It means so much to us to get the house back to a safe and beautiful place for our family.



FEICK DESIGN GROUP, INC.

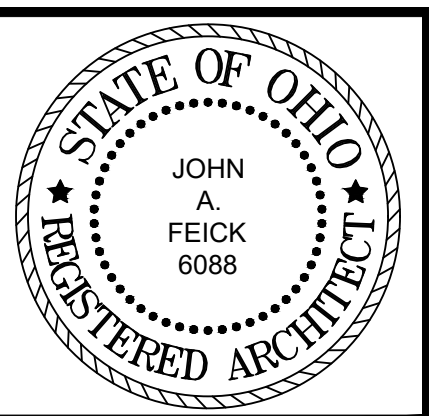
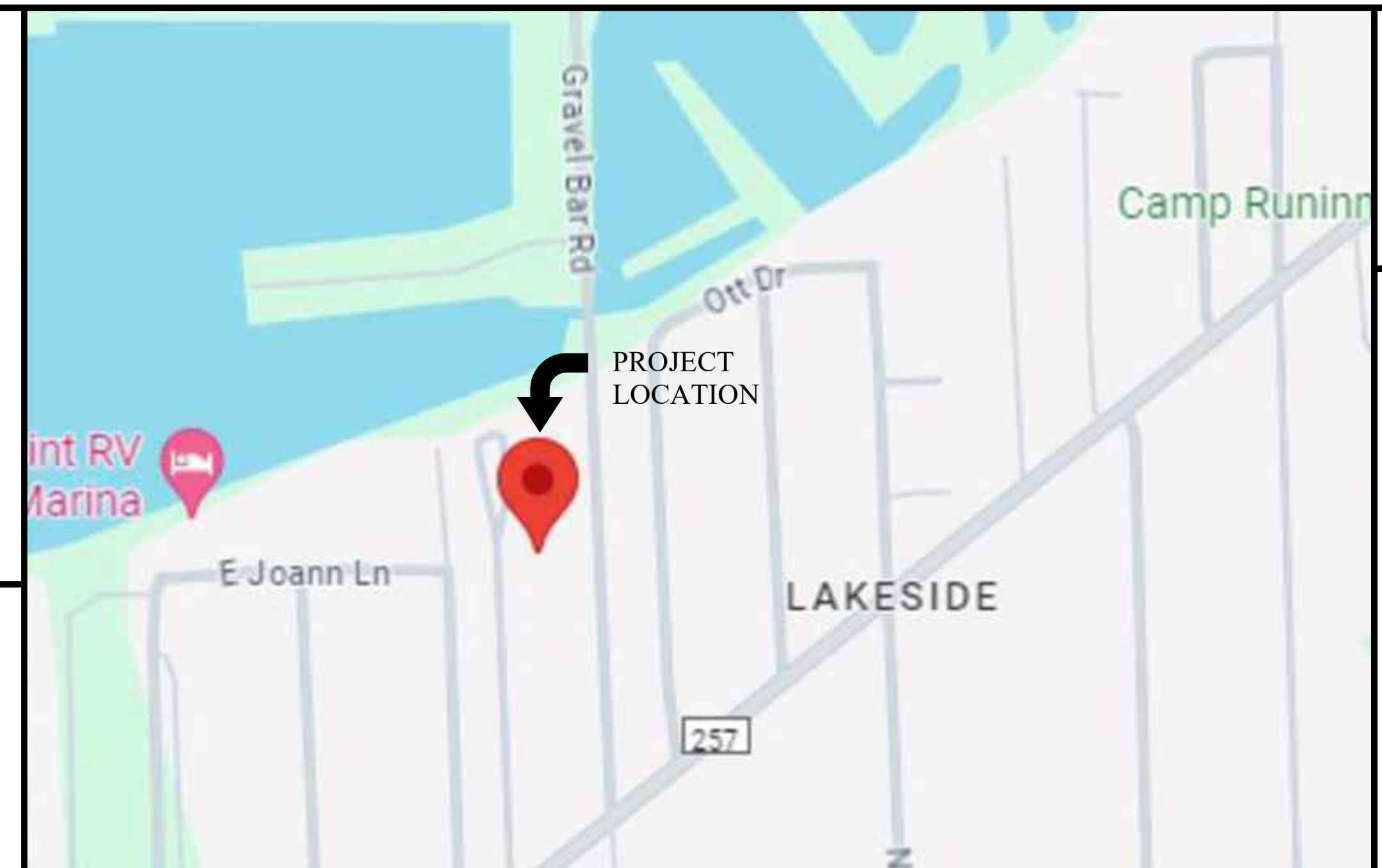


224 EAST WATER STREET
SANDUSKY, OHIO 44870
(419) 625-2554

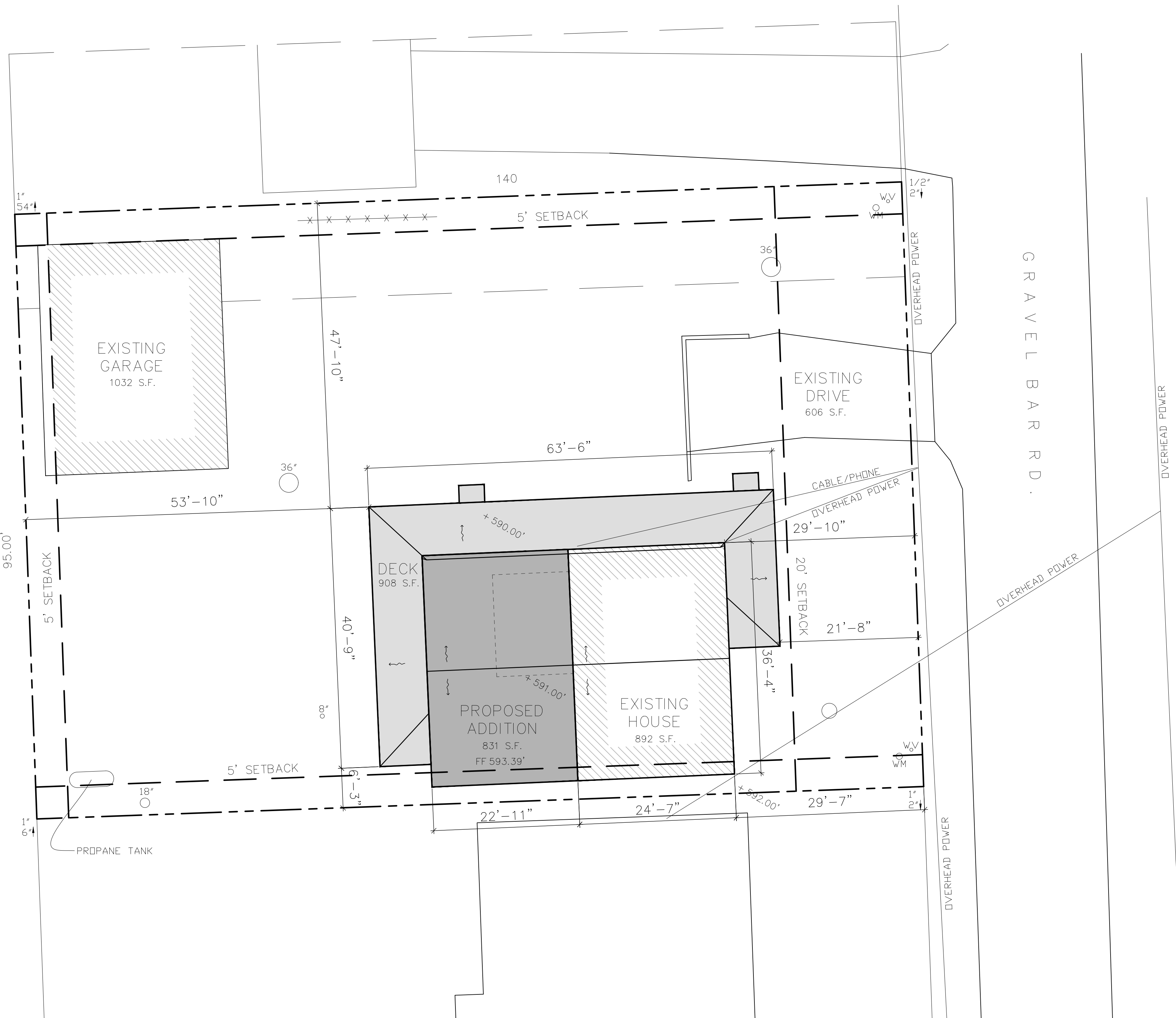
HOUSE ADDITION for:

NEJDL RESIDENCE

292 GRAVEL BAR RD. LAKESIDE MARBLEHEAD, OH 43440
PARCEL #0141248516634000



FEICK DESIGN GROUP, INC.
JOHN A. FEICK, ARCHITECT
224 EAST WATER STREET
SANDUSKY, OHIO
(419) 625-2554



SITE PLAN
1"=10'-0"

GENERAL NOTES

- ALL WORK SHALL BE CONSTRUCTED UNDER OTTAWA COUNTY INSPECTION. MATERIALS AND CONSTRUCTION FOR STORM & SANITARY SEWAGE, WATER AND HIGHWAY IMPROVEMENTS SHALL MEET ALL STATE AND LOCAL CODES. BUILDING MATERIALS AND CONSTRUCTION SHALL MEET LOCAL BUILDING AND ZONING CODES AND OHIO BUILDING CODE.
- ALL PROPER PERMITS MUST BE OBTAINED FOR ALL CONSTRUCTION WORK (WHICH HAS BEEN APPROVED BY PROPER DEPARTMENTS) PRIOR TO ANY CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL CONTRACTOR TO SECURE AND PAY FOR ALL THE REQUIRED STATE AND LOCAL PERMITS. PLUMBING AND ELECTRICAL CONTRACTORS TO BE RESPONSIBLE FOR THEIR OWN PERMITS, FEES AND ECT.
- ALL CONTRACTORS, INCLUDING THE GENERAL AND HIS SUBCONTRACTORS, ELECTRICAL, PLUMBING, MUST BE LICENSED TO DO WORK WITHIN THE GOVERNING MUNICIPALITY.
- ALL MATERIALS TO BE NEW OR UNUSED QUALITY AND INSTALLED & FINISHED PER MANUFACTURER SPECIFICATIONS & INDUSTRY STANDARDS.
- ALL CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING PHYSICAL CONDITIONS. BEFORE & DURING CONSTRUCTION, CONTRACTORS WILL VERIFY ALL DIMENSIONS & ELEVATIONS & CONDITIONS. ANY DISCREPANCIES OR UNKNOWN FINDINGS WILL BE BROUGHT TO THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- MATERIALS AND ARRANGEMENTS NEITHER SHOWN NOR NOTED, BUT OBVIOUSLY NECESSARY TO COMPLETE THE WORK FOR PROPER PERFORMANCE AND USE, USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE FURNISHED AND INSTALLED WITHOUT ADDITIONAL COST TO THE OWNER.
- ANY MATERIALS AND/OR EQUIPMENT TO BE REMOVED BY CONTRACTORS WILL BE OFFERED TO THE OWNER AFTER REMOVAL. MATERIALS AND/OR EQUIPMENT NOT WANTED BY THE OWNER SHALL BE DISPOSED, BY THE CONTRACTOR OFF THE SITE.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING CONSTRUCTION. CONTRACTORS WILL PROVIDE ALL NECESSARY CONSTRUCTION BARRIERS TO MAINTAIN OWNER'S SAFETY.
- ALL CONSTRUCTION MATERIALS, EQUIPMENT & JOB TRAILERS SHALL BE STORED ONLY IN AREAS DESIGNATED BY THE OWNER.
- GENERAL CONTRACTOR SHALL PROVIDE & MAINTAIN A REFUSE CONTAINER FOR ALL CONSTRUCTION DEBRIS. CONTRACTORS WORKING ON THE SITE SHALL CLEAN UP WORK AREAS ON A DAILY BASIS TO THE SATISFACTION OF THE OWNER.
- ANY DAMAGE BY CONTRACTORS TO EXISTING SURFACES, MATERIALS, EQUIPMENT DURING CONSTRUCTION WILL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION.

BUILDING CODE NOTES:

- 2019 RESIDENTIAL CODE OF OHIO WITH UPDATES
 - 2017 NATIONAL ELECTRICAL CODE
 - 2009 ACCESSIBLE AND USABLE BUILDINGS (ICC A117.1)
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 - BASIC WIND SPEED 115 MPH WIND EXPOSURE CATEGORY D
 - SEISMIC DESIGN CATEGORY A
 - SOIL TYPE N_a NAPANESE SILT LOAM
SOIL BEARING CAPACITY 1,000 PSF
- | | | |
|-----------------|------------|--------------------------------|
| ATTIC | LIVE LOAD | 20 PSF (BOTTOM CHORD OF TRUSS) |
| ROOF | LIVE LOAD | 20 PSF |
| | SNOW LOAD | 20 PSF |
| | DEAD LOAD | 15 PSF |
| 1ST FLOOR | DEAD LOAD | 20 PSF |
| | COLL. LOAD | 5 PSF |
| DECKS/BALCONIES | LIVE LOAD | 40 PSF |
| | DEAD LOAD | 20 PSF |
| | COLL. LOAD | 5 PSF |

- ROOF TRUSSES SHALL BE DESIGNED BY A STATE OF OHIO LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING DEPARTMENT AS A SHOP DRAWING PRIOR TO THE START OF CONSTRUCTION.
- ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATION OPENINGS. PROTECT OPENINGS AGAINST THE ENTRANCE OF SNOW AND RAIN. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA VENTILATED. PROVIDE SOFFIT AND RIDGE VENTS AS REQUIRED.
- FIRE STOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS, AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS THEY OCCUR SUCH AS SOFFITS, OVER CABINETS, DROP CEILINGS, ETC.; AND AT OPENINGS AROUND VENTS, PIPES, DUCTS AND CHIMNEYS, AT CEILING AND FLOOR LEVELS; INSTALL WITH NON-COMBUSTIBLE MATERIALS.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, AND IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING ROOM. THEY SHALL ALSO BE LOCATED ON EACH STORY INCLUDING BASEMENT AND CELLARS. ALL DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS. WINDOWS SHALL HAVE A HEIGHT OF NOT MORE THAN 44-INCHES. WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 22-INCHES. WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING WIDTH OF 20-INCHES. ALL EGRESS WINDOWS MUST HAVE A NET CLEAR OPENING OF 5.7 S.F. GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 S.F.
- A READILY ACCESSIBLE OPENING OF NOT LESS THAN 22-INCHES BY 30-INCHES SHALL BE PROVIDED TO ALL ATTIC AREAS HAVING A CLEAR HEIGHT OVER 30-INCHES. ACCESS HATCH MUST BE INSULATED WITH A MINIMUM OF 2-INCH RIGID INSULATION.
- ACCESSIBLE FLOOR OPENING OF NOT LESS THAN 18-INCHES BY 24-INCHES OR WALL OPENING OF NOT LESS THAN 16-INCHES BY 24-INCHES SHALL BE PROVIDED TO CRAWL SPACE AREA. ACCESS HATCH MUST BE INSULATED WITH A MINIMUM OF 2 INCH RIGID INSULATION.
- UNCONDITIONED CRAWL SPACES WITH COVERED FLOORS SHALL HAVE VENTILATION OPENINGS OF NOT LESS THAN ONE SQUARE FOOT NET CLEAR AREA PER 1500 SQUARE FEET OF FLOOR AREA.
- PROVIDE AN EXHAUST FAN IN EVERY BATHROOM. EACH FAN SHALL HAVE A MINIMUM CAPACITY OF 100 CFM. EACH FAN SHALL BE SWITCHED SEPARATELY FROM THE LIGHT SWITCH. VENT THE FAN, HORIZONTALLY AND UPWARD, DIRECTLY TO THE EXTERIOR.

DRAWING LEGEND

- T-1 TITLE PAGE
- A-1 FLOOR PLAN
- A-2 ELEVATIONS, SECTION
- S-1 FOUNDATION PLAN
FLR./ROOF FRAMG. PLAN

DATE	REVISIONS

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORKS OF THE ARCHITECT AND THE SAME MAY NOT BE COPIED, REPRODUCED OR DISCLOSED WITHOUT THEIR EXPRESS WRITTEN CONSENT.

FEICK DESIGN GROUP, INC.
COPYRIGHT 2024

TITLE SHEET, SITE PLAN, CODE NOTES
HOUSE ADDITION for:
NEJDL RESIDENCE
292 GRAVEL BAR RD LAKESIDE MARBLEHEAD OH 43440

DATE	NOVEMBER 6, 2024
DRAWN BY	TEB
CHECKED BY	
SHEET NUMBER	T-1
	1 OF 4
PROJECT NO.	F0045

WINDOW & EXTERIOR DOOR SCHEDULE						
MARK	LOCATION	WINDOW	QTY	RO	MATERIAL	REMARKS
1	M.BEDRM	±3030	1	±36x36	CLAD WD	DBLHNG a,b, f
2	HALF BATH	3030	1	36x36	CLAD WD	DBLHNG a,b
3	LMNG RM	6080	4	72x80	CLAD WD	GLIDING a,b, g
4	KITCHEN	3640	1	42x48	CLAD WD	DBLHNG a,b

NOTES:
a. INTERIOR FINISH: PINE, HARDWARE - FINISH SELECTION, EXTR. COLOR BY OWNER.
b. ALL GLASS SHALL BE LOW-E3, INSECT SCREEN ON VENTS
c. GRILLES- 5/8" SIMULATED DIVIDED LIGHT
d. EGRESS
e. SAFETY GLAZING
f. MATCH EXISTING WINDOW SIZE
g. SLIDING PATIO DOOR
VERIFY WINDOW SIZE, TYPE, MATERIAL, HARDWARE & FINISH SELECTION WITH OWNER

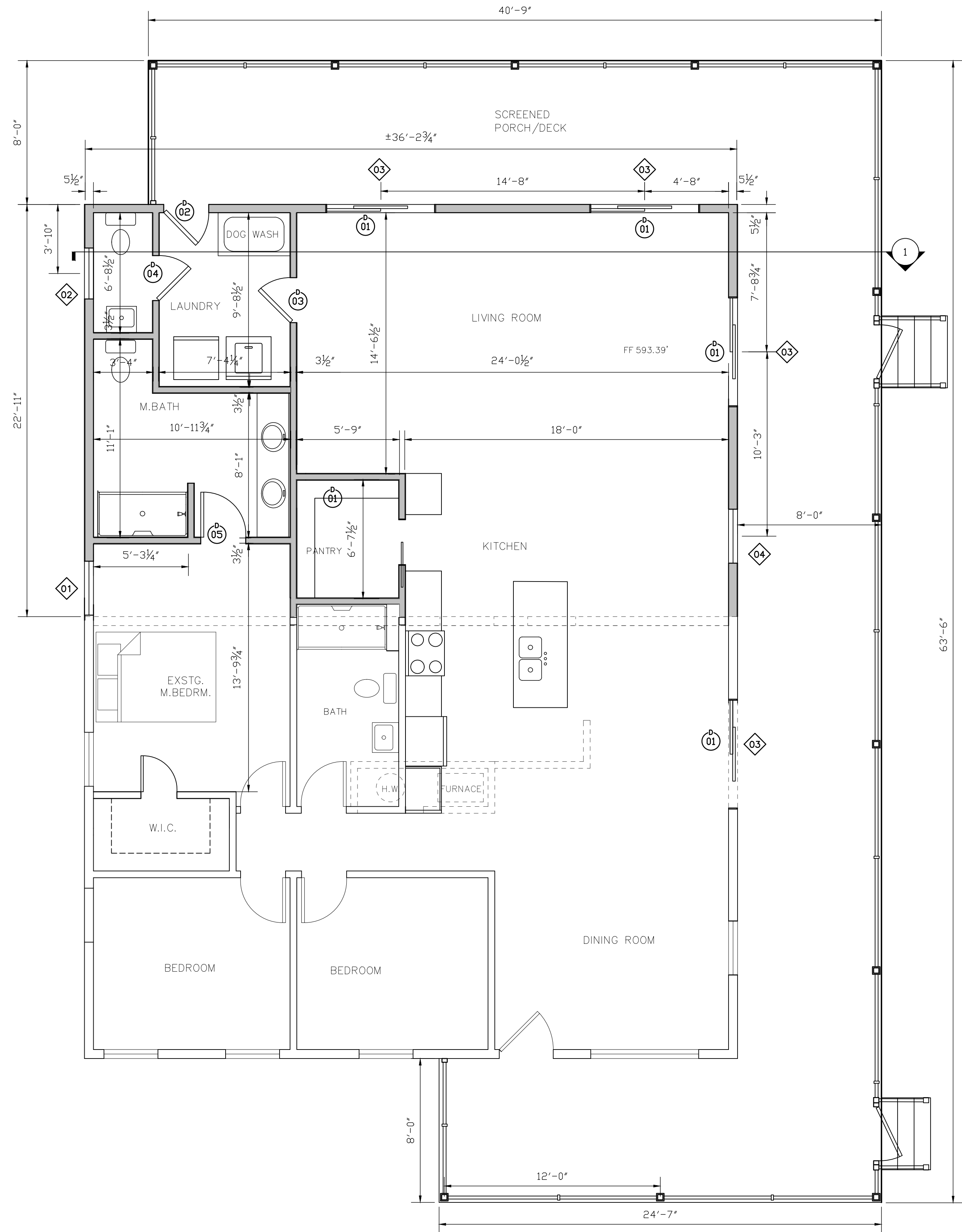
FIRST FLOOR	DOOR						FRAME				NOTES
	DOOR NO.	TYPE	MAT.	FIN.	WIDTH	HT.	INTR. MAT.	CASING	FIN.	HDW GRP.	
1	SLDG	FG			6'-0"	6'-8"	1-3/4"	WD		PT	e
2		FG			2'-6"	6'-8"	1-3/4"	WD		PT	a
3	4PNL	WD	STN		2'-6"	6'-8"	1-3/4"	WD		PT	b
4	4PNL	WD	STN		2'-6"	6'-8"	1-3/4"	WD		PT	b
5	4PNL	WD	STN		2'-6"	6'-8"	1-3/4"	WD		PT	b
6	4PNL	WD	STN		2'-6"	6'-8"	1-3/4"	WD		PT	b


DOOR SCHEDULE NOTES

DOOR TYPES

a. INSULATED FIBERGLASS DOOR, THRESHOLD, WEATHERSTRIPPING
b. STAIN, TWO COATS FINISH,
c. 1 COAT PRIMER, TWO COATS FINISH
d. SOLID WOOD DOOR
e. SLIDING PATIO DOOR

VERIFY DOOR STYLE TYPE, MATERIAL, DOOR HARDWARE & FINISH SELECTION WITH OWNER



Floor Plan 

SCALE: 1/4" = 1'-0"



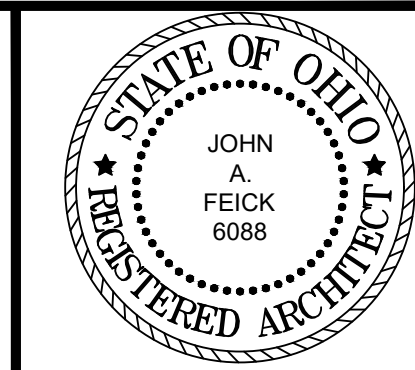
FEICK DESIGN GROUP, INC.
JOHN A. FEICK, ARCHITECT
224 EAST WATER STREET
SANDUSKY, OHIO
(419) 625-2554

DATE	REVISIONS
3/19/25	

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORKS OF THE ARCHITECT AND THE SAME MAY NOT BE COPIED, USED OR DISCLOSED WITHOUT THEIR EXPRESS WRITTEN CONSENT.
FEICK DESIGN GROUP, INC.
COPYRIGHT 2024

FLOOR PLAN
HOUSE ADDITION FOR:
NEJDL RESIDENCE
292 GRAVEL BAR RD. LAKESIDE MARBLEHEAD OH 43440

DATE	NOVEMBER 6, 2024
DRAWN BY	TEB
CHECKED BY	
SHEET NUMBER	A1
	2 OF 4
PROJECT NO.	F-0045



OHIO LICENSE #6088 EXPIRES 12/31/25

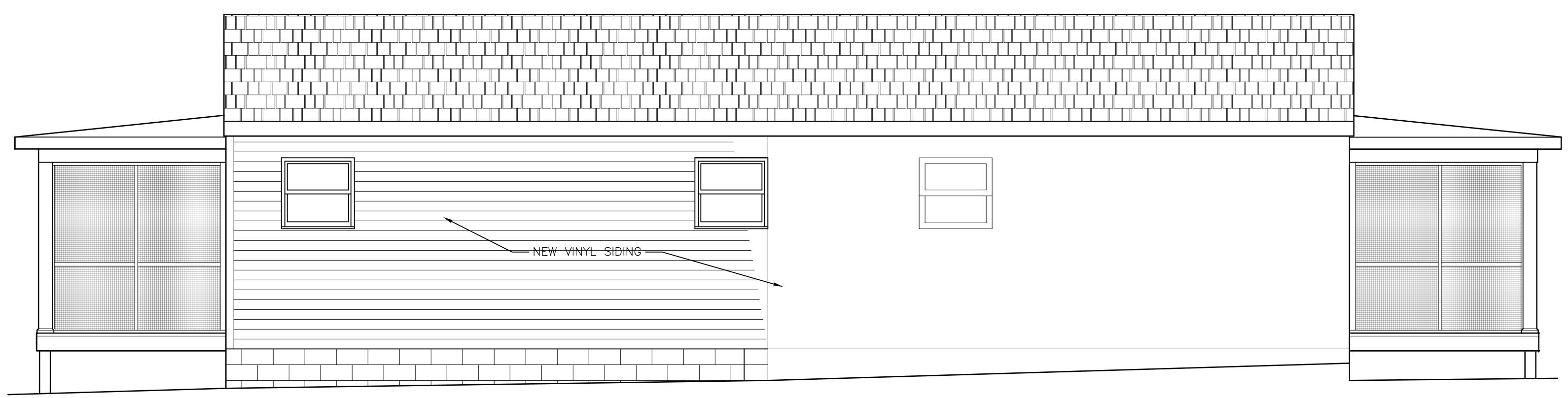
FEICK DESIGN GROUP, INC.
 JOHN A. FEICK, ARCHITECT
 224 EAST WATER STREET
 SANDUSKY, OHIO
 (419) 625-2554

DATE	REVISIONS
3/19/25	

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORKS OF THE ARCHITECT AND THE SAME MAY NOT BE COPIED, USED OR DISCLOSED WITHOUT THEIR EXPRESS WRITTEN CONSENT.
 FEICK DESIGN GROUP, INC.
 COPYRIGHT 2024

ELEVATIONS, SECTION
 HOUSE ADDITION FOR:
NEJDL RESIDENCE
 292 GRAVEL BAR RD. LAKESIDE MARBLEHEAD OH 43440

DATE NOVEMBER 6, 2024
 DRAWN BY TEB
 CHECKED BY
 SHEET NUMBER
A2
 3 OF 4
 PROJECT NO. F-0045



S Elevation

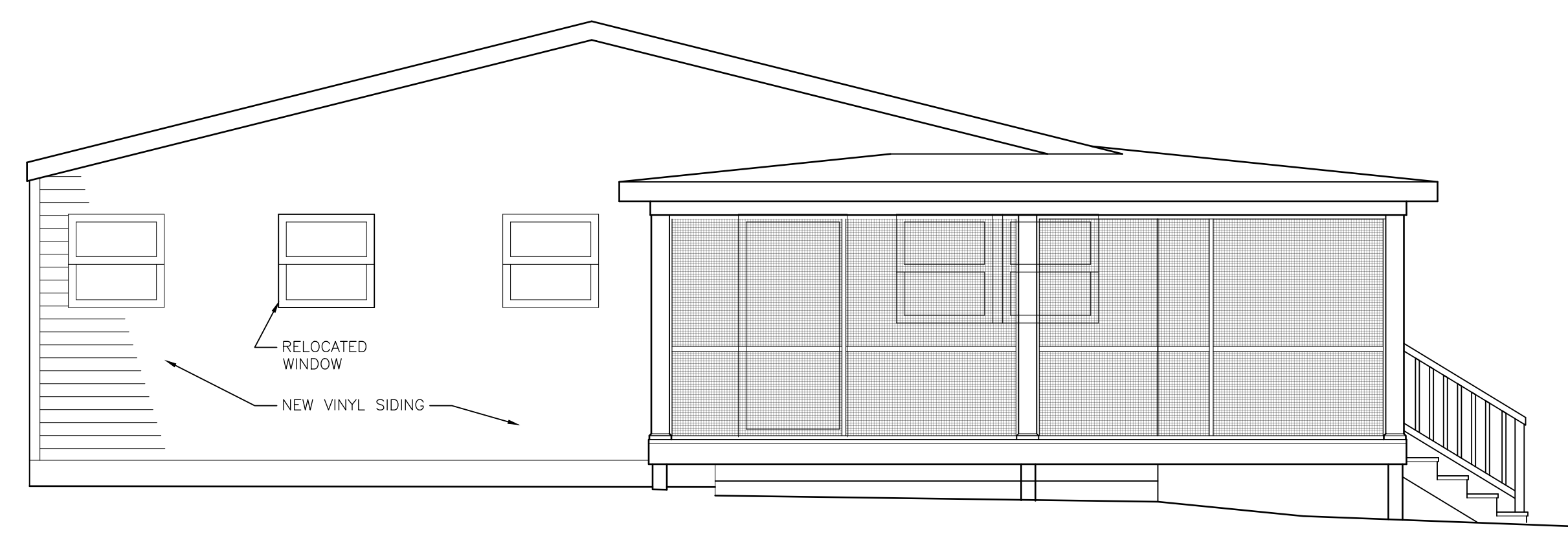


W Elevation



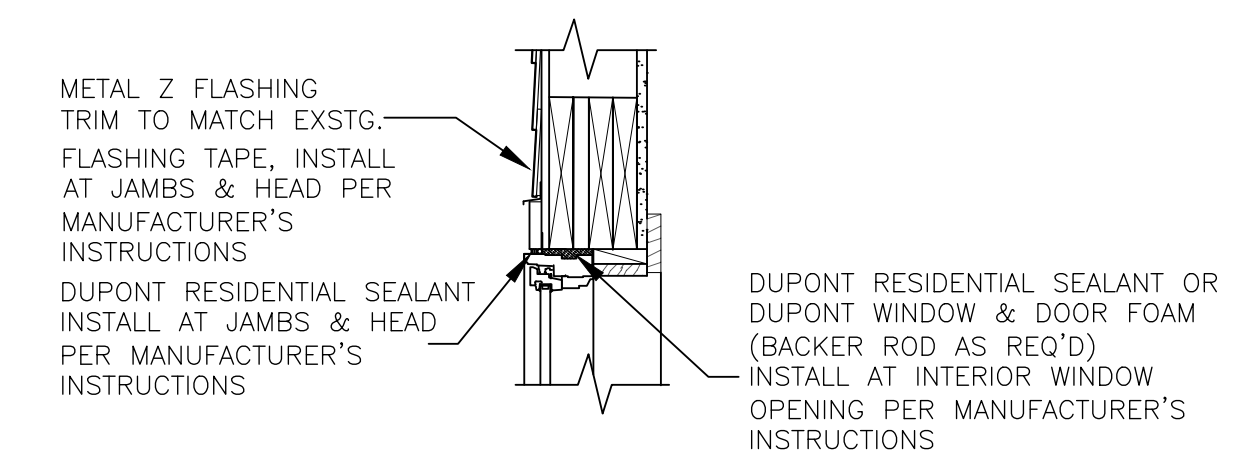
N Elevation

SCALE: 3/8"=1'-0"



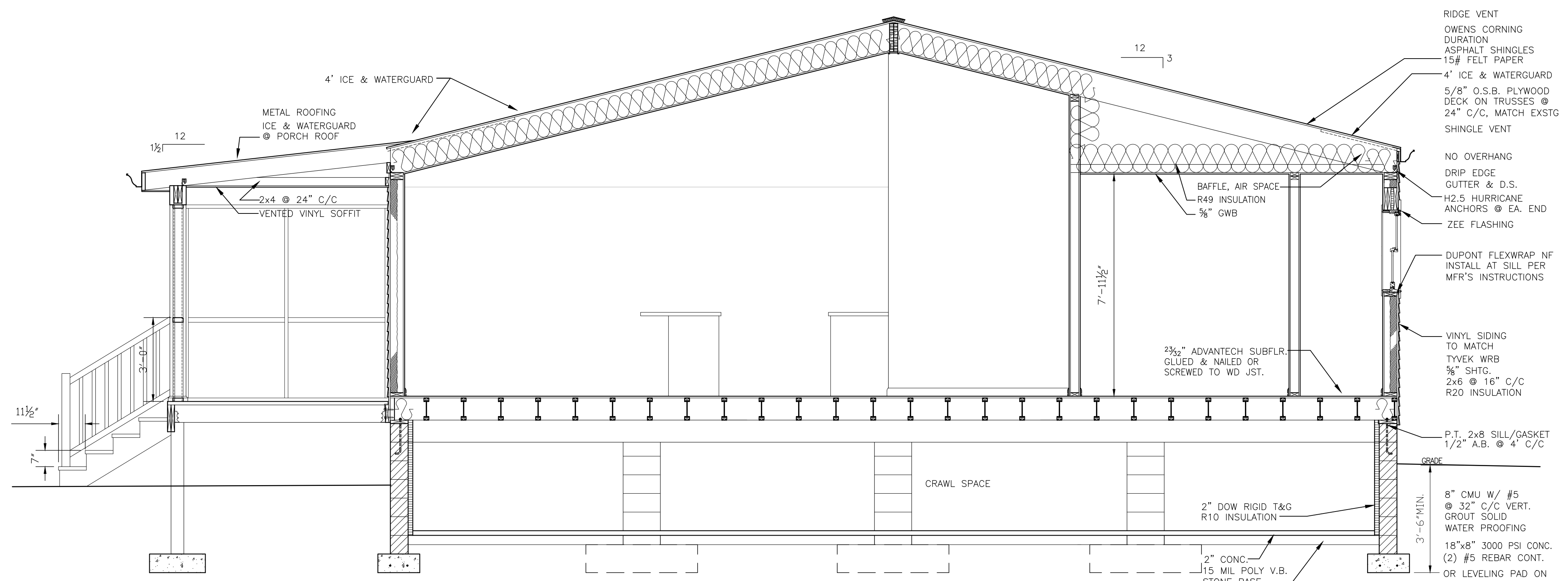
E Elevation

SCALE: 3/8"=1'-0"



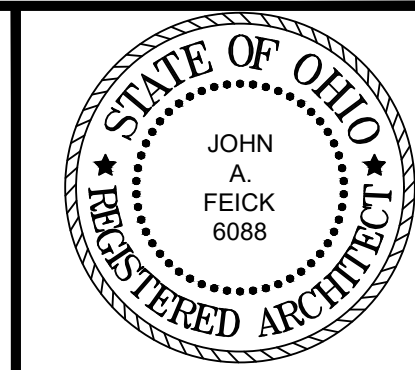
WINDOW HEAD DTL.

SCALE: 1" = 1'-0"



Section 1

SCALE: 3/8"=1'-0"



OHIO LICENSE #6088 EXPIRES 12/31/25

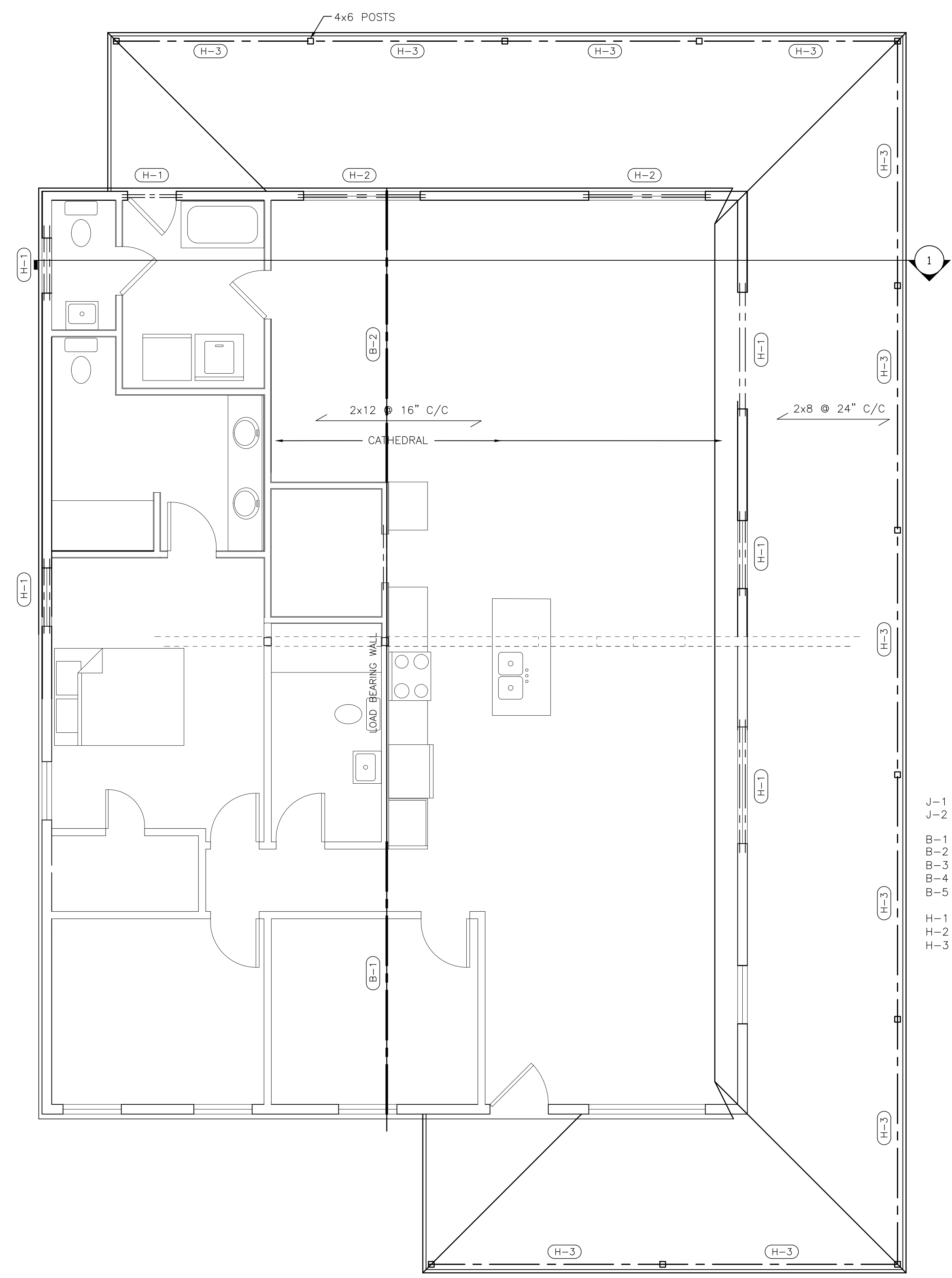
FEICK DESIGN GROUP, INC.
JOHN A. FEICK, ARCHITECT
224 EAST WATER STREET
SANDUSKY, OHIO
(419) 625-2554

DATE	REVISIONS
3/19/25	

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORKS OF THE ARCHITECT AND THE SAME MAY NOT BE COPIED, USED OR DISCLOSED WITHOUT THEIR EXPRESS WRITTEN CONSENT.
FEICK DESIGN GROUP, INC.
COPYRIGHT 2024

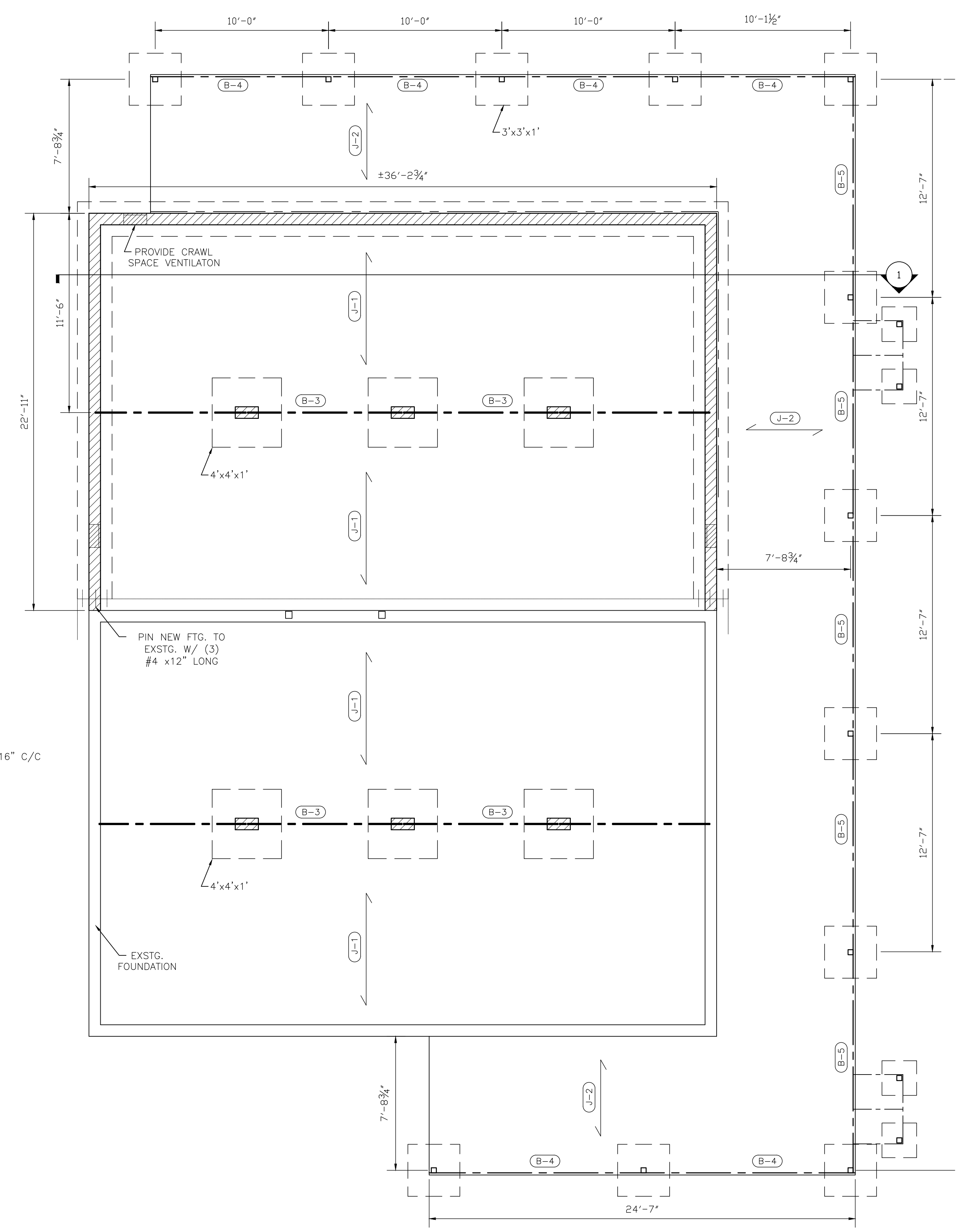
FOUNDATION/FLOOR/ROOF FRAMING PLANS
HOUSE ADDITION FOR:
NEJDL RESIDENCE
292 GRAVEL BAR RD. LAKESIDE MARBLEHEAD OH 43440

DATE	NOVEMBER 6, 2024
DRAWN BY	TEB
CHECKED BY	
SHEET NUMBER	S1
	4 OF 4
PROJECT NO.	F-0045



Roof Framing Plan
SCALE: 1/4" : 1'-0"

- J-1 PRI-20 9 1/2" I-JOIST @ 16" C/C
- J-2 2x8 @ 16" C/C
- B-1 LVL MICROLAM RIDGE
- B-2 LVL MICROLAM RIDGE
- B-3 (2) 9 1/2" LVL MICROLAMS
- B-4 (2) 2x10
- B-5 (2) 2x12
- H-1 (2) 2x8
- H-2 (2) 2x8
- H-3 (2) 2x10



Foundation Plan
SCALE: 1/4" : 1'-0"

Nejdl Neighbors

EAJ LEGACY PROPERTY LLC
9551 MIKENNA RUN
MACEDONIA OH 44056-2090

LITTLE TEDS COTTAGES
PO BOX 163
LAKESIDE MARBLEHEAD OH 43440-0163

MERCKENS RUSSELL N JR & LINDA M
1675 CHURCH RD
LAKESIDE MARBLEHEAD OH 43440-9475

LEAR RONALD F & MICHELE L
271 N WILLOW DALE RD LENDER #89684
LAKESIDE MARBLEHEAD OH 43440-1066

LYBARGER DALE E
281 N WILLOW DALE RD
LAKESIDE MARBLEHEAD OH 43440-1066

LYBARGER DALE E
281 N WILLOW DALE RD
LAKESIDE MARBLEHEAD OH 43440-1066

201200218707
Filed for Record in
OTTAWA COUNTY, OHIO
VIRGINIA M. PARK, RECORDER
02-23-2012 At 11:08 am.
WRNTY DEED 28.00
OR Book 1374 Page 406 - 407

2-23-12 By Mary T. Henderson

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that JOANN M. NEJDL, widowed and not remarried, (herein referred to as "Grantor") for valuable considerations, does hereby convey and grant, with general warrant covenants, to JOSEPH L. NEJDL, (hereinafter referred to as "Grantee") and whose tax mailing address is 3230 West Wallings Road, Broadview Hts., Ohio 44147, all of Grantor's right, title and interest in and to the following real property:

Situated in the Township of Danbury, County of Ottawa and State of Ohio:

Being Lots Nine (9) and Ten (10) and the South fifteen (15) feet of Lot Eight (8), Port Ann Allotment, Danbury Township, Ottawa County, Ohio.

P.N: 014-12485-16634-000

Prior Instrument Reference: _____ of Ottawa County Records.

* EAST

TO HAVE AND TO HOLD the premises aforesaid, with the appurtenances thereof, unto the said Grantee and the Grantee's successors and assigns forever. And Grantor does for Grantor and for Grantor's heirs, successors and assigns, covenant with Grantee and Grantee's successors and assigns, that at and until the unsealing of these presents, Grantor was well seized of the above described premises, as a good and indefeasible estate in fee simple, and has good right to bargain and sell the same in manner and form above written, and that the same are free from all encumbrances whatsoever except mortgages, reservations, conditions, limitations, easements and restrictions of record, zoning ordinances, if any, and real estate taxes and assessments, both general and special, which are a lien but not yet due and payable; and that Grantor will warrant and defend said premises, with the appurtenances thereunto belonging, to the Grantee and to Grantee's successors and assigns, against all lawful claims and demands whatsoever.

The Grantee is hereby granted the power and authority to protect, conserve, sell, lease, encumber, manage, convey or otherwise dispose of the premises and appurtenances aforesaid.

IN WITNESS WHEREOF, I have hereunto set my hand at Brecksville, Ohio, on January , 2012.

Signed and acknowledged in the presence of:


JOANN M. NEJD L

THE STATE OF OHIO)
) B.S.1
COUNTY OF CUYAHOGA)

BEFORE ME, a notary public, in and for said County and State, personally appeared the above-named Joann M. NejdL, who acknowledged that she did sign the foregoing instrument and that the same is her free act and deed.

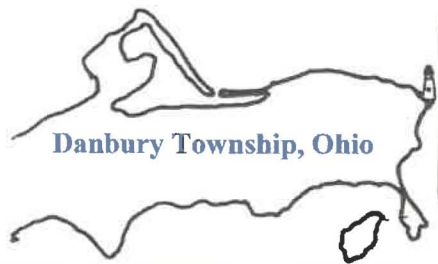
IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal on January 19, 2012.


Notary Public



DANIEL P. SEINK, Attorney
Notary Public - STATE OF OHIO
My commission has an expiration date of
Section 147.09 (C)

This Instrument Prepared By
And Return To:
Daniel P. Seink Co., Ltd.
Compass South Center
8180 Brecksville Road, Suite 109
Brecksville, Ohio 44141
(440) 546-0483
www.OhioElderLaw.com



Kathryn A. Dale, AICP
Zoning & Planning Administrator

NOTICE OF REFUSAL

March 18, 2025

To Applicant/ Owner: Joseph Nejdli, 3230 W. Wallings Road, Broadview Hts., Ohio 44147
Application No.: 25-042, 292 Gravel Bar
BZA Case No.:

Your application dated MARCH 18, 2025, for a zoning certificate for a NEW SINGLE-FAMILY HOME located at 292 GRAVEL BAR ROAD, MARBLEHEAD, OHIO 43440 is hereby refused on this 18th DAY OF MARCH, 2025 under Article 3, Article 5 and Article 7 of the Danbury Township Zoning Resolution in that;

Article 3 of the Danbury Township Zoning Resolution and Map designates the location of this property as "R-C" Recreational Commercial.

Article 5, Section 5.1.3 General Regulations Applicable to All Districts
3. No building or structure shall be erected, converted, enlarged, or reconstructed or structurally altered except in conformity with the yard and lot area regulations of the district in which the building is located unless otherwise specified herein.

Article 5, Section 5.9.3 Lot Area, Lot Width & Building Setbacks for Dwellings in the "C-1", "C-2" and "R-C" Commercial Districts
For all dwellings in the C-1, C-2 or R-C districts, the following shall apply:
3. With both community water supply and community sanitary sewer treatment systems, the "R-3" requirements shall apply.

Article 3, Section 3.5 "R-3" High Density Residential Development Standards
The minimum setback requirements in the "R-3" zoning district are as follows:
Minimum Front-yard Setback 25'
Minimum Rear-yard Setback 25'
Minimum Side-yard Setback 5'
Maximum Lot Coverage 40%

Information Only - Reduced Setbacks Available Below

Article 5, Section 5.1.7 General Regulations Applicable to All Districts
7. Any lot of record at the time of the adoption of this Resolution may be used for a single-family dwelling. Any lot of record that can comply with the required setback requirements of the district in which it is located shall be required to do so. However, on such lots in all districts where compliance with required district setbacks cannot occur, the following setbacks shall be maintained unless a variance is granted by the Board of Zoning Appeals.
Front-Yard Setback: 20'
Side-Yard Setbacks: 5'
Rear-Yard Setback: 5'

Variance #1 →

- The property is part of the Port Ann Subdivision which was platted in 1951.
- The existing home is nonconforming because it is 2'8" from the south, side property line (1'8" if an overhang is present).
- The applicant is proposing to tear down and rebuild the single-family home in the same location as the existing home from the south, side property line at 2'8" where 5' is required.

Article 7, Section 7.12.3.C. Nonconforming Uses

C. A nonconforming use or structure which has been damaged by fire, explosion, act of God, or the public enemy or demolished, removed, or structurally altered voluntarily, to the extent of seventy-five (75) percent or more of the floor area contained in the building or structure at the time of damage shall not be restored, rebuilt or enlarged except in conformity with the regulations of the district in which it is located.

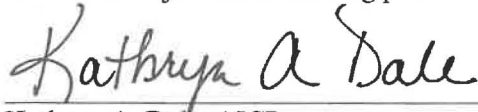
- The existing structure is nonconforming because the house sits at 2'8" to the south, side property line (1'8" if an overhang is present) where 5' is required.
- The applicant came before the Board of Zoning Appeals in October 2024 (BZA Case# 2024-245) requesting a variance to allow for an addition to encroach into the south, side-yard setback and to exceed the 20% addition limitation onto a nonconforming structure. These variances were approved.
- A zoning permit for the addition was issued in November 2024 (#2024-304).
- Upon inspection of the property January 22, 2025, the footer and foundation had been poured for the addition.
- Upon inspection of the property March 3, 2025, the existing home that was identified as remaining had actually been torn down and was in the process of being rebuilt.
- The applicant is proposing to rebuild the single-family home, including the 2024 proposed addition in the same location of the former structure which will be 2'8" to the south, side property line (1'8" if an overhang is present) where 5' is required.

Variance #2 →

Article 7, Section 7.5.1.A states; It shall be unlawful for an owner to use or to permit the use of any structure, building or land, or part thereof, hereafter created, erected, converted or enlarged, wholly or partly, until a zoning certificate/permit shall have been issued by the Zoning Inspector. It shall be the duty of the Zoning Inspector to issue a certificate/permit, provided the Zoning Inspector is satisfied that the structure, building or premises, and the proposed use thereof conform with all the requirements of this Resolution. No certificate/permit for excavation, construction or reconstruction shall be issued by the Zoning Inspector unless the plans, specifications and the intended use conform to the provisions of this Resolution.

Article 7: An appeal from this decision to the Danbury Township Board of Zoning Appeals is governed under Section 7.9.2 of the Danbury Township Zoning Resolution. A request for an **Area Variance** is necessary prior to proceeding with the proposed construction.

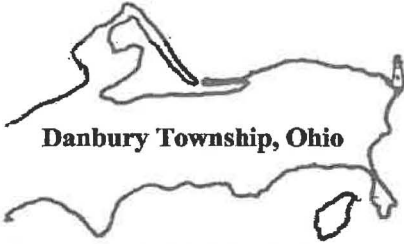
Please contact the Zoning Department at (419) 734-6120 to obtain the appropriate application and to review the adjudication hearing process if you wish to proceed with the appeal.



Kathryn A. Dale, AICP

Danbury Township Zoning & Planning Administrator

Note: The applicant has 20 days (per Section 7.8.2.A.i.) to submit revisions or to appeal this decision to the Board of Zoning Appeals. A new application will be required, including payment of a new fee, if the applicant fails to submit adequate revisions within this time period. Revisions that address these deficiencies may result in further comments relative to these or other Zoning Code provisions. This review is only for compliance with the zoning regulations. The Ottawa County building departments may also have comments that will need to be addressed before releasing permits.



Danbury Township, Ohio

5972 E. Port Clinton Rd.
Marblehead, Ohio 43440
☎: (419) 734-6120 F: (419) 734-3137
🌐: www.danburytownship.com

ZONING PERMIT APPLICATION

Date Filed: 3/18/25 Application #: 2025-042
~~Approval~~ ^{Refusal} Date: 3/18/25 BZA Case #: See Also
BZA-2024-245

1. Property Location:	<u>292 Gravel Bar</u>	Parcel ID #:	<u>014248516634000</u>
Subdivision	<u>Port Ann Allotment</u>	<input checked="" type="checkbox"/> Lot #1 8, 9, 1	Zoning District " <u>R-C</u> " Recreational Commercial <input checked="" type="checkbox"/>
Existing Use	<u>1 Family</u>	Proposed Use	<u>Raze Ex. 1 Family + Rebuild</u> <u>New SF Home</u>

2. **Applicant** Joseph NejdI Address 3230 Wallings Road
 City Broadview Heights State OH Zip 44147 Phone 4406654053
 Email: shoprag200@hotmail.com

3. **Owner** Joseph NejdI Address 3230 Wallings Road
 City Broadview Heights State OH Zip 44147 Phone 4406654053
 Email: shoprag200@hotmail.com

4. **Contractor/ Architect** Vassallo Builders LLC Address 3007 Hayes Avenue
 City Sandusky State OH Zip 44870 Phone 4196563574
 Email: joeyvassallo@gmail.com

5. **Site Plan:** Attach site plan for subject property. See Instructions & Sample.

6. Type of Improvement	
<u>Residential Use</u>	<u>Non-Residential Use</u>
<input checked="" type="checkbox"/> <u>New Single Family (___ w/Deck)</u>	<input type="checkbox"/> <u>New Building(s)</u>
<input type="checkbox"/> <u>New Two-Family</u>	<u>Dimensions of each Bldg.</u>
<input type="checkbox"/> <u>New Multi-Family, No. of Units _____</u>	_____
<input type="checkbox"/> <u>Addition</u>	<input type="checkbox"/> <u>Addition</u>
<input type="checkbox"/> <u>Accessory Structure</u>	<input type="checkbox"/> <u>Accessory Structure</u>
<input type="checkbox"/> <u>Decks or Patios</u>	<input type="checkbox"/> <u>Temporary Uses - Dates From: _____ To: _____</u>
<input type="checkbox"/> <u>Swimming Pools (above or inground)</u>	<input type="checkbox"/> <u>Signs - Permanent _____ Temporary _____</u>
<input type="checkbox"/> <u>Walls or Fences</u>	<input type="checkbox"/> <u>Walls or Fences</u>
<input type="checkbox"/> <u>Temporary Uses - Dates From: _____ To: _____</u>	<input type="checkbox"/> <u>Remodel/ Tenant Finish</u>
<input type="checkbox"/> <u>Signs - Permanent _____ Temporary _____</u>	<input type="checkbox"/> <u>Docks, Finger, Main or Walkway - _____ sf.</u>
<input type="checkbox"/> <u>Docks - _____ sf.</u>	<input type="checkbox"/> <u>Other (specify) _____</u>
<input type="checkbox"/> <u>Other (specify) _____</u>	

7. **Project Description:** Rebuild rotten section of the house - Raze Ex. SF Home & Rebuild w/ proposed addition from 2024

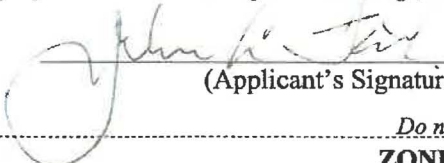
8. Are the property line pins located or have you had a recent survey of the lot? yes (yes/no)

9. If application is for a non-residential use, list total square footage of building per floor. If application is for a residential use list total area of living space per floor as well as total area of all applicable attachments to the structure. Attach sketch of lot, showing existing buildings and proposed construction or use for which application is made. Give dimensions, indicate *north* and provide the following information:

	<u>Existing</u>	<u>Proposed</u>	<u>Setbacks:</u>	<u>Existing</u>	<u>Proposed</u>
Basement:	_____ sf.	_____ sf.	<i>(Setbacks are from the property lines to roof overhang, not the edge of the road pavement or foundation)</i>		
First floor:	<u>892</u> 1232 sf.	<u>1,723</u> sf.	Front Yard Setback:	<u>29.9</u> ft.	<u>29.9</u> ft.
Second floor:	_____ sf.	_____ sf.	Side Yard Setback:		
Third floor:	_____ sf.	_____ sf.	n side:	<u>57.9</u> ft.	<u>47.9</u> ft.
Garage/carport:	<u>1032</u> sf.	_____ sf.	s side:	<u>2.67</u> ft.	<u>2.67</u> ft. <i>(1.67' to OH) variance needed</i>
Decks/porches:	_____ sf.	<u>464</u> <i>*covered</i> sf.	Rear Yard Setback:	<u>84.9</u> ft.	<u>53.9</u> ft.
Breezeway:	_____ sf.	_____ sf.	5' Acc. Bldg/ Separation? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>6' 10"</u> ft.	
Accessory:	_____ sf.	_____ sf.	Is the property Nonconforming? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<i>*See Sec. 7.12 variance needed</i>
Parking:	<u>606</u> sf.	_____ sf.	Lot Coverage:		
Other:	_____ sf.	_____ sf.	A. Principal Building Footprint:	<u>2187</u> ✓ sf.	
Highest point of building above the established grade:	_____ ft.	_____ ft.	B. Total of Accessory buildings:	<u>1032</u> ✓ sf.	
			C. Lot Width x Lot Depth = Lot Area:	<u>13,300</u> ✓ sf.	
			[(A + B) ÷ C] x 100 =	<u>24.2</u> %	

NOTE: Private deed restrictions may need to be met in some areas of the township. Zoning does not enforce private restrictions. It is the responsibility of the Owner & Applicant to be aware of these.

Application is hereby made for a zoning certificate. It is understood and agreed by the applicant that any error, misstatement or misrepresentation of fact or expression of fact in the application, either with or without intention on the part of the applicant, such as might, or would, operate to cause the issuance of a permit in accordance with this application, shall constitute sufficient ground for the revocation of the permit at any time. The owner of this building or premises and the undersigned, do hereby agree to comply with all the laws of the State of Ohio and the Zoning Resolution of Danbury Township, and to construct the proposed building or structure or make the proposed change or alteration in accordance with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specification are to the best of their knowledge, true and correct.

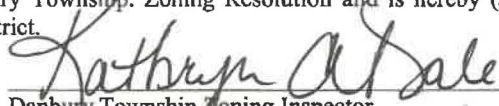


 (Applicant's Signature)

03-18-2025
 (Date)

Do not write below this line
ZONING CERTIFICATE

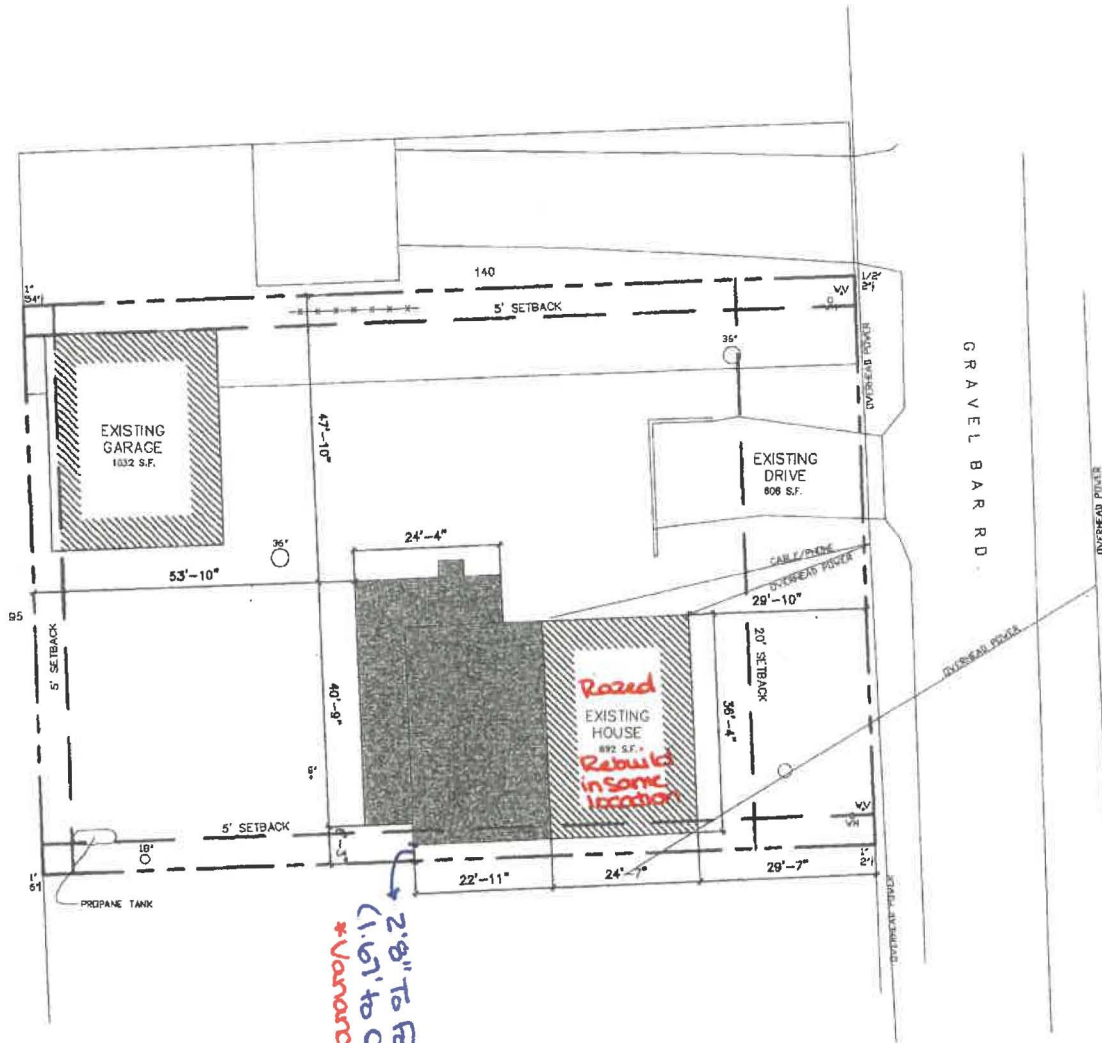
Upon the basis of Application No. 25-042, the statements in which are made a part hereof, the proposed usage (is or ~~isn't~~) isn't found to be in accordance with the Danbury Township Zoning Resolution and is hereby (approved or rejected) rejected for the RC Zoning District.



 Danbury Township Zoning Inspector
 5972 E. Port Clinton Road, Marblehead, Ohio 43440

Date Application Received 3/18, 20 25 Fee Paid \$ 0 Check # -
 Date Application Ruled On 3/18, 20 25 If certificate refused, reason for refusal: See Attached Letter

Permit valid for a period of one (1) year from date of issue.



*2'-8" To Foundation
(1.6' to Overhang)
Variance Needed

** 2nd variance needed for Razing house & starting to rebuild in same location*

SITE PLAN

SCALE : 1" = 20'-0"



600 LEXINGTON AVENUE SUITE 1200 NEW YORK, NY 10022

FEICK DESIGN GROUP, INC.
JOHN A. FEICK, ARCHITECT
224 EAST WALKER STREET
BALDWIN, OHIO (419)-886-8664

DATE: REVISIONS:



SITE PLAN
HOUSE ADDITION FOR:
NEJDL RESIDENCE

202 GRAVEL BAR RD., LAKESIDE MARBLEHEAD OH 43440

DATE: AUGUST 8, 2024

DRAWN BY: TER

CHECKED BY:

TITLE: T1

1 OF 1

PROJECT NO. F-0048

A.



B.



C.



D.



E.

